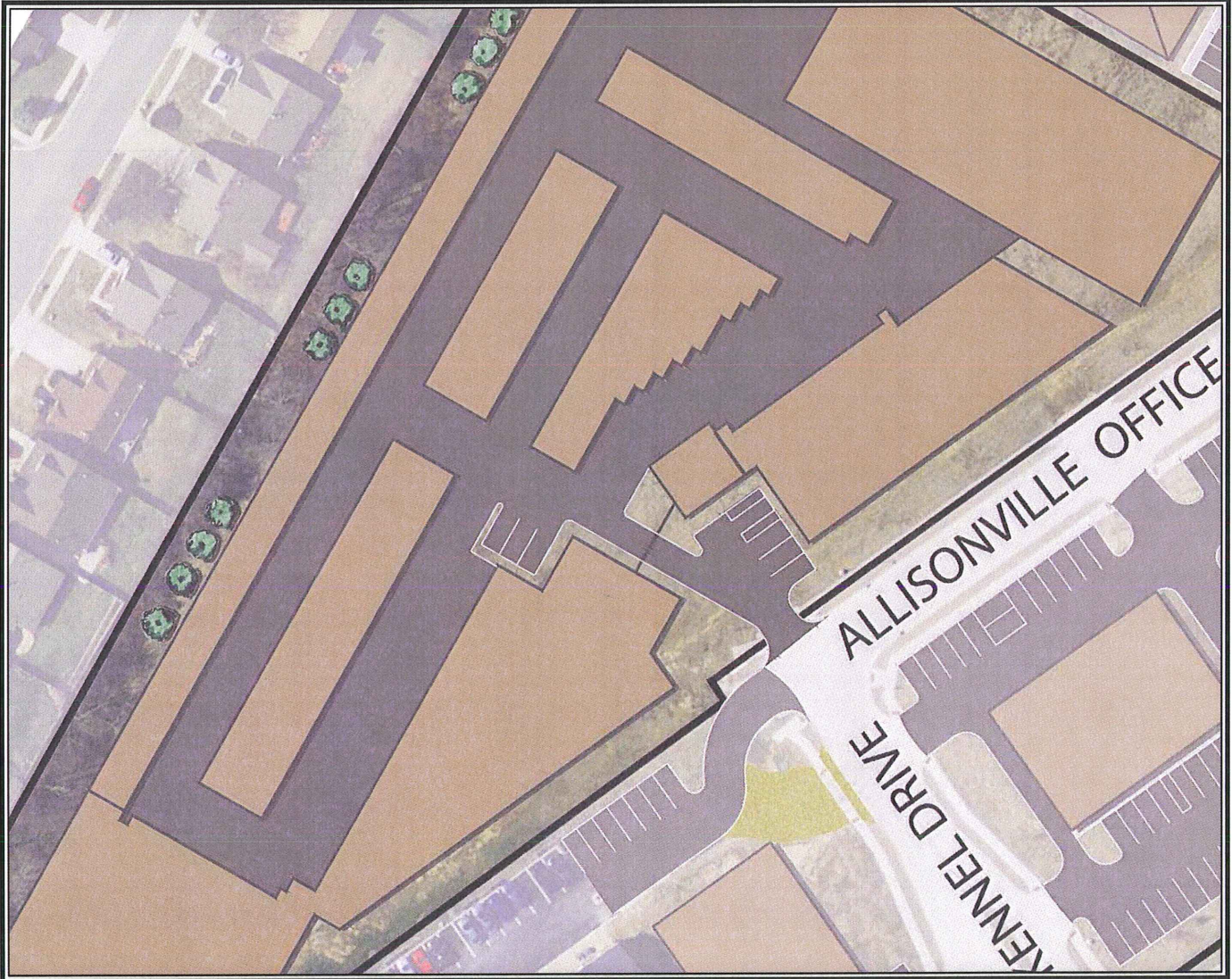


ALLISONVILLE PLACE

PUD TEXT AMENDMENT



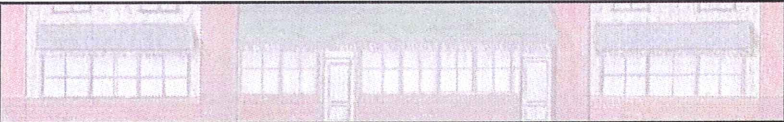
SHAMROCK
BUILDERS K

PRESENTED BY
STEVEN D. HARDIN, ESQ.
FAEGRE BAKER
DANIELS

REQUEST FOR COMBINED 2ND & 3RD READING
TOWN COUNCIL | SEPTEMBER 2, 2014

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ALLISONVILLE PLACE PUD



Petitioner

Greg O'Herren
George Geiger
Shamrock Builders, Inc.
9800 Westpoint Drive, Suite 200
Indianapolis, IN 46256
telephone. 317.558.8750

Attorney:

Steven D. Hardin, Esq.
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EXECUTIVE SUMMARY	
ALLISONVILLE PLACE PUD	

Shamrock Builders, Inc. (“Shamrock”) respectfully requests a text amendment to the Allisonville Place PUD Ordinance to facilitate its proposed upscale storage facility on the 4.42 +/- acres located at the southwest portion of the PUD (please see Aerial Location Exhibit at Tab 2). The proposed development represents a \$6,000,000 investment in the community.

Shamrock has met with the neighbors and has committed to:

- (1) The illustrative architectural exhibits, including single-story buildings along the west boundary;
- (2) No pole lights;
- (3) No exterior lights on the north, south, and west façades;
- (4) A 30’ west buffer area, including existing trees and additional evergreen trees.

In addition to serving the needs of the nearby residents, the proposed use will increase the Town’s assessed value (generating tax dollars for the Town and school district) without adding students and without creating a demand for Town Services (low traffic, minimal use of utilities and police and fire protection).

RECENT HIGHLIGHTS:

At the August 12, 2014 public hearing, the Plan Commission voted unanimously to forward the proposal to the Town Council with a favorable recommendation.

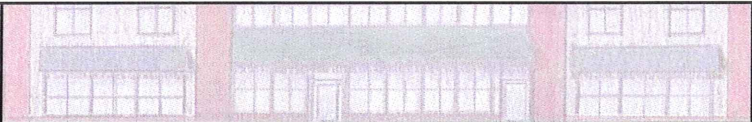
If approved, Shamrock plans to start construction later this year.

Thank you for your consideration.



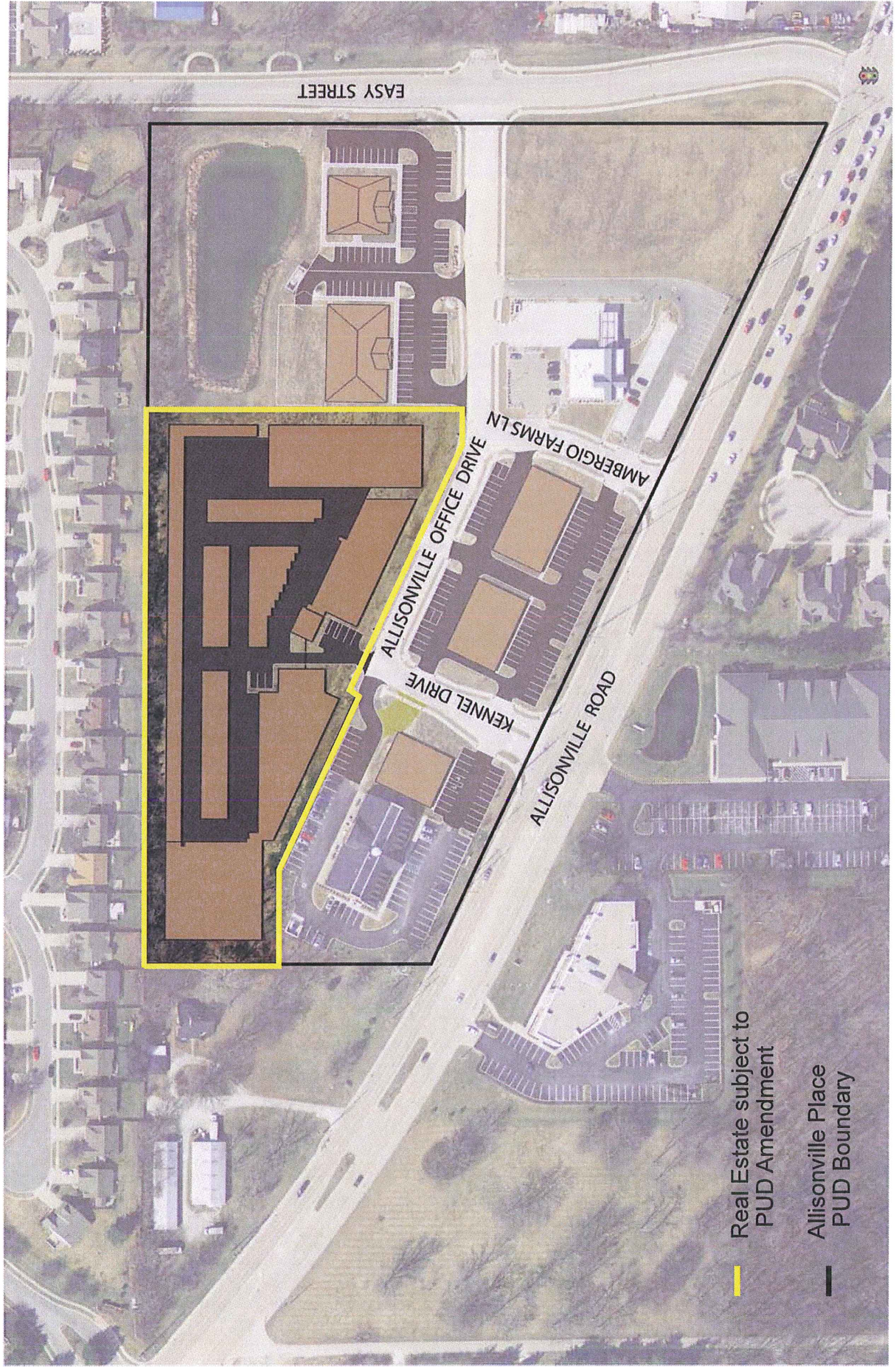
AERIAL LOCATION EXHIBIT

ALLISONVILLE PLACE PUD



CONCEPT PLAN AND PROPOSED BUFFERING

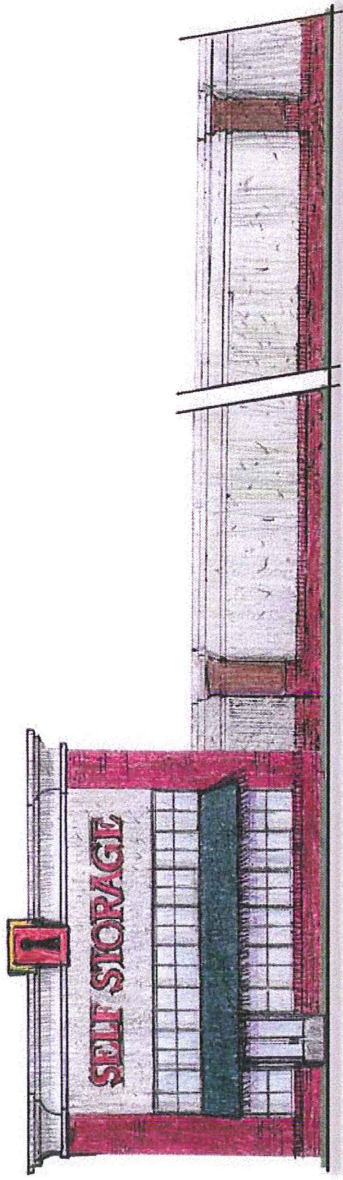
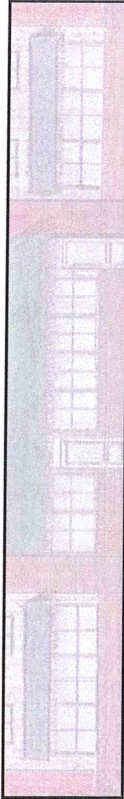
ALLISONVILLE PLACE PUD



— Real Estate subject to PUD Amendment

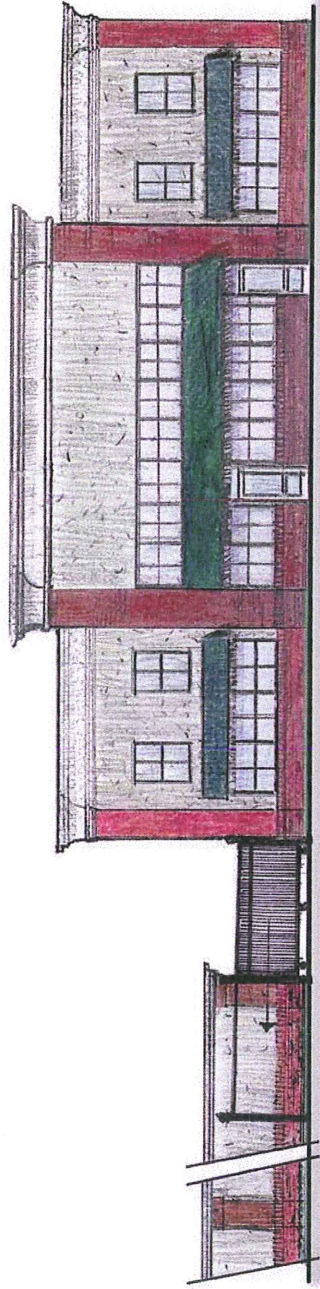
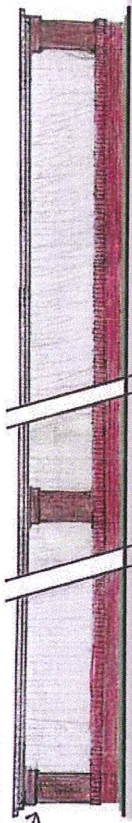
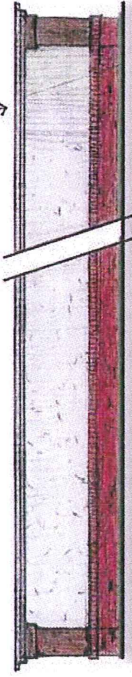
— Allisonville Place PUD Boundary

ILLUSTRATIVE BUILDING EXHIBIT
ALLISONVILLE PLACE PUD



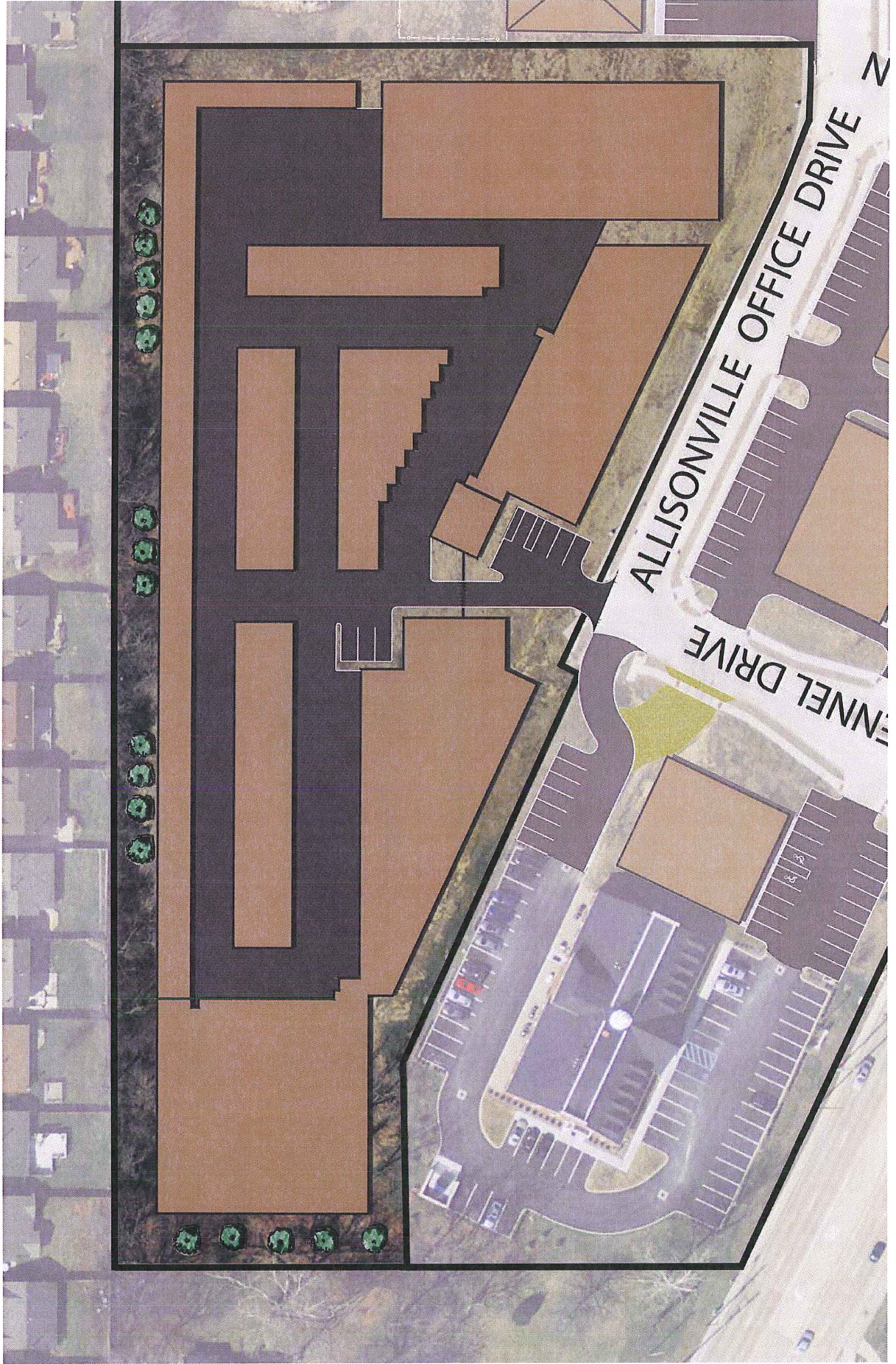
Metal Cornice

Brick Columns



WEST AND SOUTH BUFFER AREA

ALLISONVILLE PLACE PUD



Year

2014

Allisonville Place PUD District

Parcel D Amendment

v.08.20.14

Town of Fishers
Planned Development
Ordinance
#072114

1.01 Declaration, Purpose and Intent, and Permitted Uses

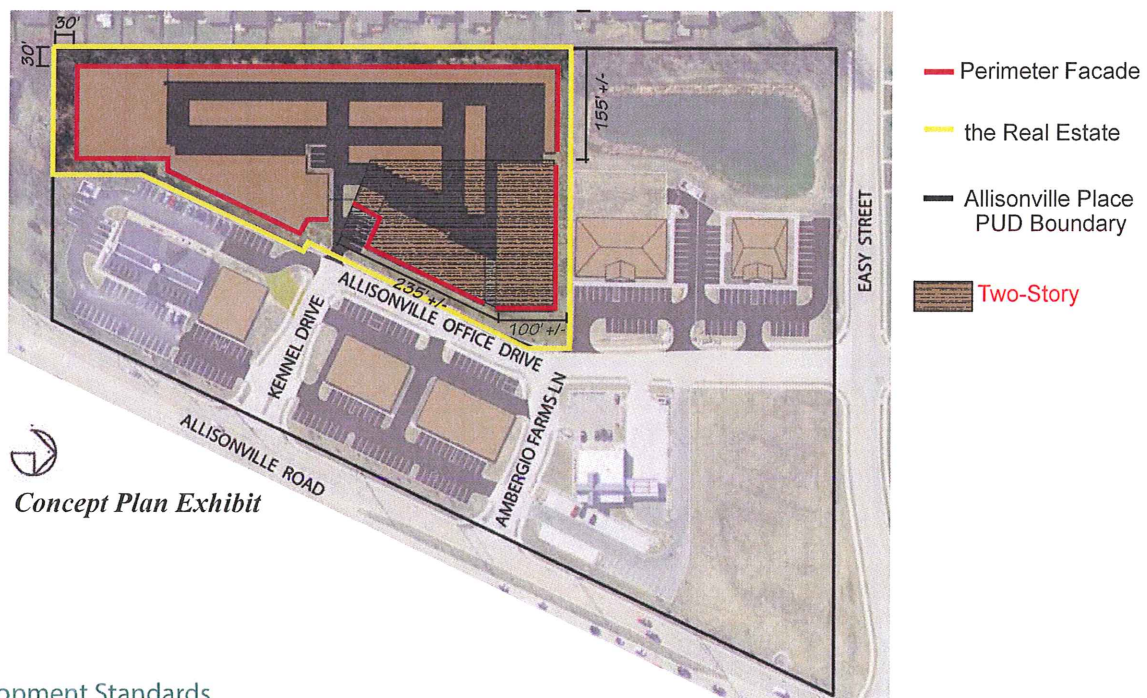
Declaration	Purpose and Intent	Permitted Uses
<p>Ordinance No. 072114 ("this Ordinance") Adopted: _____</p> <p>The Unified Development Ordinance of the Town of Fishers, Indiana, Ordinance No. 090605A, and the OFFICIAL ZONING MAP, TOWN OF FISHERS, INDIANA, dated October 16, 2006, which accompanies and is a part of the Zoning Code of the Town of Fishers, Indiana, as amended (the "UDO"), and the Allisonville Place Planned Unit Development District Ordinance No. 120406B and Ordinance No. 080601A (the "PUD Ordinance") applicable to the real estate legally described in Section 1.078 of this ordinance (the "Real Estate") are hereby amended as follows:</p> <p>The Real Estate may be developed pursuant to the terms of the PUD Ordinance or this Ordinance.</p> <p>All provisions of the UDO that conflict with the provisions of this Ordinance are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance.</p> <p>The provisions of this Ordinance shall supersede any conflicting provisions in the PUD Ordinance applicable to the Real Estate.</p>	<p>The purpose of this PUD Amendment is to encourage improved design in the development of land by promoting the following objectives:</p> <ul style="list-style-type: none"> • Provide for the development of diverse neighborhoods; • Greater flexibility in applying the ordinances to the development of the Real Estate; • Innovative approach to meet the demands of the market; • The recognition of the interdependency of various markets; • Efficient use of land resulting in more cost effective networks of utilities, streets and other facilities; and • Coordination of architectural styles, building forms and relationships, graphics and other private improvements. 	<p>Permitted Uses:</p> <ul style="list-style-type: none"> • Self-Storage Facility, which shall be defined as a building or group of buildings consisting of individual, self-contained units leased to individuals, organizations, or businesses for self-service storage of personal property. Facility shall include related accessory uses including, without limitation, any one or a combination of the following: (i) administrative offices; (ii) ancillary retail sales (e.g., moving and packing supplies); (iii) mail or delivery boxes; and (iv) any other facilities approved by the Director that compliment and are intended to serve such a facility. • Office Uses: Office Uses are permitted in the area where 2-story buildings are permitted, as generally shown on the Concept Plan. <p>Excluded Uses:</p> <ul style="list-style-type: none"> • All other uses.

1.02 Applicability

- A. If the Real Estate is developed for a use permitted by the PUD Ordinance, then the standards of the PUD Ordinance shall apply to the development of the Real Estate. If the Real Estate is developed for a use permitted by this Ordinance, then the standards of the UDO applicable to the ~~C1~~ **C2** Commercial District shall apply to the development of the Real Estate, except as modified, revised, or expressly made inapplicable by this Ordinance. "Article" cross-references of this Ordinance shall hereafter refer to the Article section as specified and referenced in the UDO. Capitalized terms that are not otherwise defined herein shall have the meaning ascribed to them in the UDO. Pursuant to *Article 4.02(F): Amendments to the Unified Development Ordinance*, an amendment to the UDO shall apply to this Ordinance unless this Ordinance has specified an alternative development or design standard.

1.03 Concept Plan

- A. The Concept Plan is hereby incorporated. Per *Article 9.17(A)(2)(a): Planned Unit Development District; General; Purpose & Intent*, the Concept Plan provides the Plan Commission and Town Council with a general vision for the development of the Real Estate.

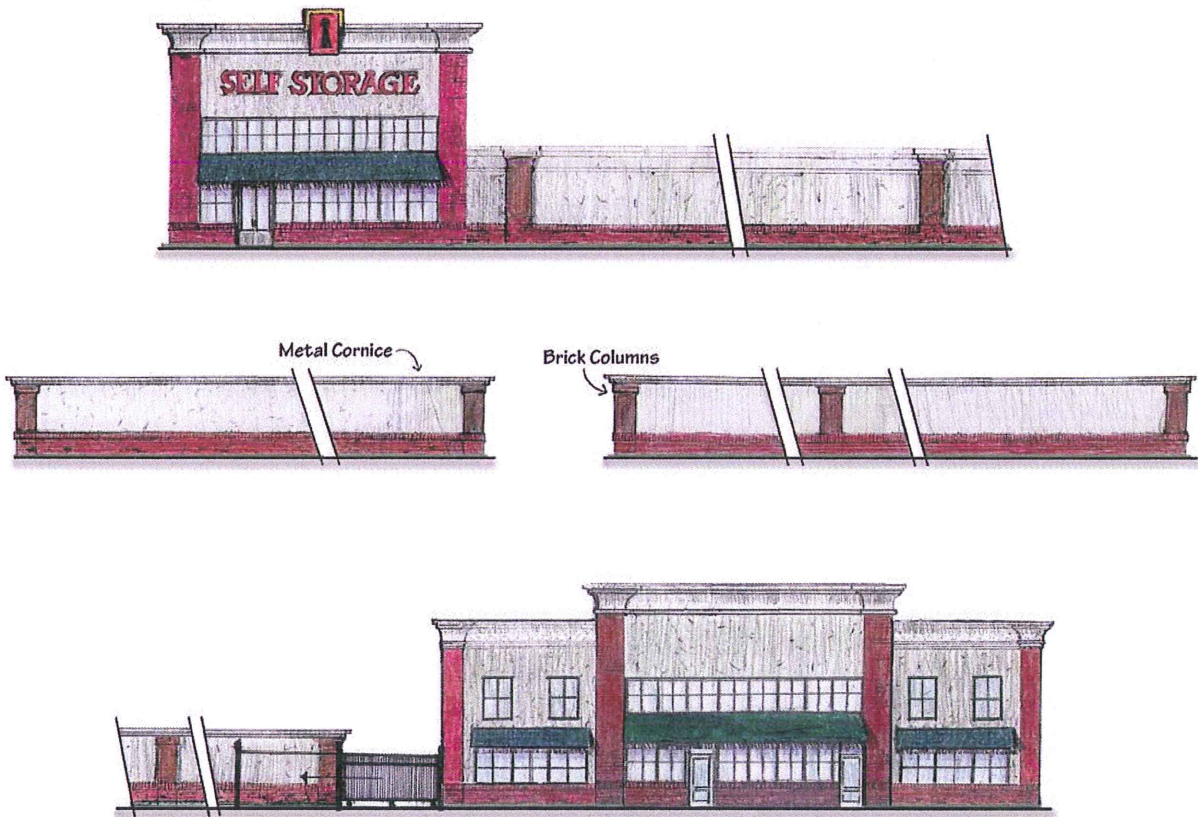


1.04 Development Standards

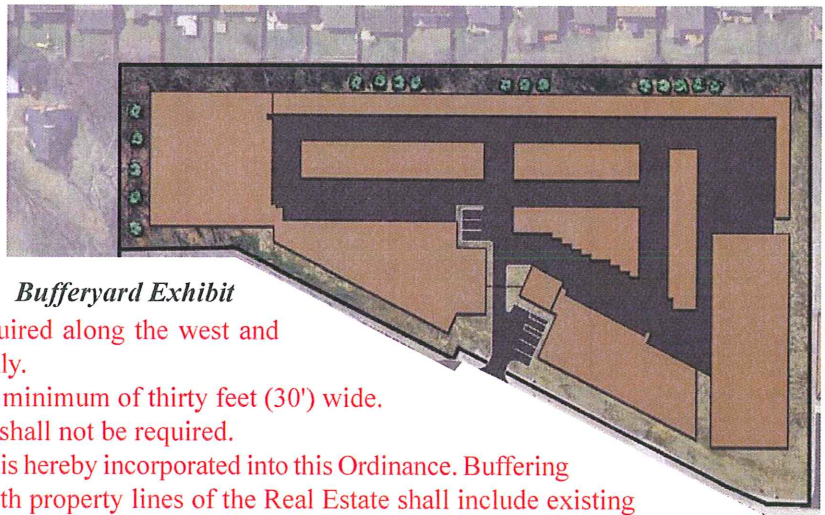
- A. Cross References: The regulations of *Article 5: Development Standards* shall apply, except as modified by this Ordinance.
- B. General Regulations: *Article 2.2426: ~~C1~~ C2 Commercial District Development Standards* shall apply except as modified below:
- (1) Minimum Setbacks shall apply, except as specified below:
 - West and South Property Line Setback: 30 feet
 - East Property Line Setback: 20 feet
 - North Property Line Setback: 10 feet
 - Minimum Building Separation: 10 feet
 - (2) Maximum Structure Height shall apply, except as specified below:
 - All structures shall be one-story unless located within the shaded two-story area, as shown on concept plan.
- C. Accessory Structure Standards (AS): shall apply.

- D. Architectural Design Standards (AD): shall apply except as modified below:
- (1) For purposes of this section, the following definitions shall apply:
 - (i) Interior Façade: A building façade not defined as a Perimeter Façade. Interior Facades shall include those facades interior to the site and located within an enclosed perimeter (e.g., fence or wall).
 - (ii) Perimeter Façade: A building facade adjacent, parallel or contiguous with the perimeter of the Real Estate and oriented to the exterior of the site (e.g., those facades shown in red on the Concept Plan Exhibit).
 - (iii) Illustrative Building Exhibit: The Illustrative Building Exhibit is hereby incorporated. The Illustrative Building Exhibit provides a general representation of the intended architecture and character for the Real Estate.
 - (2) *Article 5.15 AD-03(A)(2) and (3): Architectural Design; Commercial; Façade; Exterior Materials* shall not apply, rather the following shall apply:
 - (i) Perimeter Façade: A Perimeter Façade shall incorporate multiple textures. Smooth faced textures shall not be permitted. A minimum of a three (3) foot tall brick or stone wainscot shall be required on a Perimeter Façade. The following materials and finishes shall be permitted for the remainder of the façade: Brick, stone, split-face concrete masonry unit (CMU), stucco or EIFS (Dryvit) wall systems, or decorative precast panels.
 - (ii) Interior Façade: The following materials and finishes shall be permitted for Interior Facades: Brick, split-face concrete masonry unit (CMU), fiber cement board siding, stone, decorative precast panels, integrally colored block, stucco or EIFS (Dryvit) wall systems, heavy-gauge vinyl, steel and/or aluminum curtain wall systems.

Illustrative Building Exhibit



- (3) *Article 5.15 AD-03(A)(4): Architectural Design; Commercial; Facade; Wall Planes* shall not apply, however, the following shall apply with regard to overhead doors:
 - (i) Overhead doors shall be prohibited on Perimeter Facades.
 - (ii) All overhead doors on buildings located on the perimeter of the site shall be oriented towards the interior of the site.
 - (4) *Article 5.15 AD-03(A)(5): Architectural Design; Commercial; Facade; Four-sided Architecture* shall be replaced and superseded to require that the Perimeter Facades shall be substantially similar in quality and character as shown in the Illustrative Building Exhibit.
 - (5) *Article 5.15 AD-03(A)(7): Architectural Design; Commercial; Facade; Colors* shall be supplemented to require that colors used on Interior Facades shall be complementary to those used on the Perimeter Facades.
 - (6) *Article 5.15 AD-03(D)(6) and (7): Architectural Design; Commercial; Roofs* shall not apply, rather, all buildings shall have flat roofs as shown on the Illustrative Building Exhibit. The maximum roof pitch shall not exceed 2 (vertical units): 1 (horizontal units).
- E. Density & Intensity Standards (DI): shall apply.
 - F. Entrance & Driveway Standards (ED): shall apply.
 - G. Environmental Standards (EN): shall apply.
 - H. Fence & Wall Standards (FW): shall apply, **except as modified below**:
 - (1) ~~In addition~~, Any fencing or gates shall be decorative in design (e.g., wrought iron design) and black.
 - (2) *Article 5.33 FW-04(B): Fence and Wall; Commercial; Residential Screening* shall not apply.
 - I. Floodplain Standards (FP): shall apply.
 - J. Floor Area Standards (FA): shall apply.
 - K. Height Standards (HT): shall apply, **except as modified below**:
 - (1) **All structures shall be one-story except for those shown as two-story on the concept plan.**
 - L. Landscaping Standards (LA): shall apply **except as modified below**:
 - (1) *Article 5.43 LA-05: Landscaping Standards; Nonresidential Uses; Lot and Foundation Plantings* shall only apply to the foundations of Perimeter Facades oriented towards Allisonville Office Drive and Easy Street, and the Real Estate's west property line.
 - (2) *Article 5.45 LA-07(E)(F): Landscaping Standards; Buffer Yards; Medium-sized Buffer Yard* shall apply; **except as provided below**:
 - (i) ~~West Property Line Buffer. A "Small-sized Buffer Yard" shall apply along the Real Estate's north property line, as generally shown on the Bufferyard Exhibit.~~

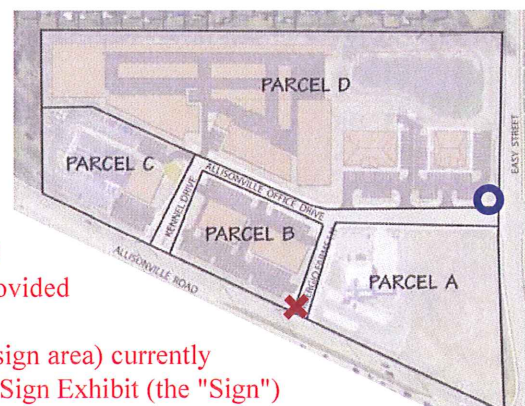


Bufferyard Exhibit

- (i) **Buffering shall be required along the west and south property lines only.**
- (ii) **Buffer areas shall be a minimum of thirty feet (30') wide.**
- (iii) **Shrubs and mounding shall not be required.**
- (iv) **The Bufferyard Exhibit is hereby incorporated into this Ordinance. Buffering along the west and south property lines of the Real Estate shall include existing trees and additional evergreen trees planted in areas where the existing trees are sparse, as generally shown on the Bufferyard Exhibit. Credit for existing trees shall be granted per Article 7.27 OP-03(A)(1): Open Space Standards; Optional Conservation Area Protection; Incentivies; Preservation of Existing Healthy Trees.**

- M. Lighting Standards (LT): shall apply. In addition, pole lights and light fixtures mounted on the north, south, and west exterior facades shall be prohibited.
- N. Loading Standards (LD): shall apply.
- O. Lot Standards (LO): shall apply.
- P. Outdoor Storage Standards (OS): shall apply. In addition, the storage of boats, vehicles and recreational vehicles shall only be permitted within the perimeter of the Self-Storage Facility. Except as provided by Section 1.04(Q)(2) below, the storage of boats, vehicles or recreational vehicles shall be prohibited within openings between Perimeter Facades.
- Q. Parking Standards (PK): shall apply, except as provided below:
 - (1) No drive aisle (e.g., to provide direct access to a storage unit) shall be permitted between a Perimeter Façade and the Real Estate's property line.
 - (2) *Article 5.68 PK-05(A): Parking Standards; Number of Commercial Parking Spaces shall be modified to provide that a minimum of four (4) parking spaces shall be provided for a Self Storage Facility, one of which may be used for temporary parking of the facility's "loaner" truck. Such "loaner" truck shall be permanently stored within the perimeter of the Self-Storage Facility, which may include parking it within an opening between Perimeter Facades.*
 - (3) *Parking shall not be permitted within the 30' Buffer Areas along the west and south property lines.*
- R. Pedestrian Accessibility Standards (PA): shall apply. *In addition, the existing sidewalk along Allisonville Office Drive shall satisfy the requirements of Article 5.73(A) and (B) PA-01: Pedestrian Accessibility; General and Article 5.74(A) PA-02 Pedestrian Accessibility; Commerical; Interior Sidewalks.*
- S. Performance Standards (PF): shall apply.
- T. Permanent Display (PD): shall apply.
- U. Property Identification Standards (PI): shall apply.
- V. Public Art (PT): shall apply.
- W. Public Improvement Standards (PV): shall apply.
- X. Setback Standards (SB): shall apply, except as modified below:
 - (1) *Article 5.84 SB-03(B): Setback Standards; Commercial and Article 5.85 SB-04: Setback Standards; Commercial shall not apply; rather, the provisions of Section 1.04(B) and (L)(2) of this Ordinance shall apply.*
- Y. Sewer & Water Standards (SW): shall apply.
- Z. Sign Standards (SG): shall apply, except as provided below:
 - (1) Signs interior to a Self-Storage Facility (e.g., directional signs, building identification signs) shall be permitted and exempt from sign permit requirements as long as such signs are not visible from the exterior of the facility. *Such signs shall be located below the roof line.*
 - (2) *The Real Estate shall continue to be permitted copy on ground signs, to the extent permitted by the PUD Ordinance (Ordinance No. 120406B), except as provided below:*
 - (i) *The sign (maximum 8' tall and 60 square feet in sign area) currently permitted in the location shown by the 'O' on the Sign Exhibit (the "Sign") shall no longer be permitted, and instead, the Sign shall be permitted in the location generally shown by the 'X' on the Sign Exhibit, incorporated herein, and may identify development within Parcels B and D.*
- AA. Structure Quantity Standards (SQ): shall not apply.
- BB. Temporary Use/Structure Standards (TU): shall apply.
- CC. Use-specific Standards (US): shall apply.
- DD. Vision Clearance Standards (VC): shall apply.

Sign Exhibit



1.05 Design Standards

- A. Cross References: The regulations of *Article 7: Design Standards* applicable to a *Planned Unit Development (PUD)* shall apply except as modified by this Ordinance:
- B. Access Road Standards (AC): shall apply.
- C. Alley Standards (AL): shall apply.
- D. Anti-monotony Standards (AM): shall apply.
- E. Common Area Standards (CA): shall apply.
- F. Covenant Standards (CE): shall apply.
- G. Dedication of Public Improvement Standards (DD): shall apply.
- H. Density & Intensity Standards (DE): shall apply.
- I. Development Name Standards (DN): shall apply.
- J. Easement Standards (EA): shall apply.
- K. Erosion Control Standards (EC): shall apply.
- L. Floodplain Standards (FL): shall apply.
- M. Lot Establishment Standards (LT): shall apply.
- N. Mixed Use Development Standards (MU): shall apply.
- O. Monument & Marker Standards (MM): shall apply.
- P. On-street Parking Standards (OG): shall apply.
- Q. Open Space Standards (OP): shall apply.
- R. Pedestrian Network Standards (PN): shall apply.
- S. Perimeter Landscaping Standards (PL): shall apply.
- U. Storm Water Standards (SM): shall apply.
- V. Street & Right-of-way Standards (SR): shall apply.
- W. Street Lighting Standards (SL): shall apply.
- X. Street Name Standards (SN): shall apply.
- Y. Street Sign Standards (SS): shall apply.
- Z. Surety Standards (SY): shall apply.
- AA. Utility Standards (UT): shall apply.

1.06 Office Uses:

- A. If any portion of the Real Estate is developed for an office use, then the standards of the UDO applicable to the *C2: Commerical District* shall apply, with the following exceptions: Setback Standards (SB), Landscape Buffer Standards, and Pedestrian Accessibility Standards (PA) shall be as provided in this Ordinance.

~~1.06~~ 1.07 Procedures

- A. The procedures set forth in *Article 9: Processes, Permits & Fees; Planned Unit Development* shall apply.
- B. This District shall be assigned to the Town's general PUD Committee (the "Committee") for review pursuant to *Article 9.20 Planned Unit Development; Final Development Plan*.
- C. ~~The PUD Committee shall have discretion and flexibility to consider and approve modifications pertaining to architecture, signage and landscaping design standards established or referenced by this Ordinance if the Committee determines such modifications are consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance.~~

~~1.07~~ 1.08 Real Estate

A part of Block D as platted in the Replat of Blocks C and D of Allisonville Place and recorded in the Office of the Recorder of Hamilton County, Indiana under Instrument Number 2011041687. More particularly described as follows:

Beginning at the southwest corner of said block D, thence North 01 degrees 02 minutes 06 seconds East 698.93 feet along the west line of said Block D; thence South 88 degrees 57 minutes 54 seconds East 404.13 feet to the west right-of-way line of Allisonville Office Drive; thence South 00 degrees 51 minutes 58 seconds West along said west right-of-way a distance of 2.28 feet to a tangent curve concave northwest having a radius of 174.00 feet and a length of 76.32 to feet; thence continuing along said west right-of-way and along said curve 76.32 feet; thence South 25 degrees 59 minutes 44 seconds West along said west right-of-way a distance of 295.91 feet; thence South 64 degrees 00 minutes 16 seconds East a distance of 19.00 feet; thence south 25 degrees 59 minutes 44 seconds West a distance of 104.17 feet ; thence continuing South 25 degrees 59 minutes 44 seconds West a distance of 142.20 feet; thence South 00 degrees 02 minutes 54 seconds East a distance of 119.71 feet to the southeast corner of said Block D; thence South 89 degrees 57 minutes 06 seconds West along the south line of said Block D a distance of 178.60 feet to the Point of Beginning. Containing 4.42 acres, more or less.

[The remainder of this page was intentionally left blank; signature page follows.]

Allisonville Place PUD District Amendment

Year
2014

1.09 Adoption

This ordinance shall be in full force and effect from and after its passage by the Town Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.

Upon motion duly made and seconded, this Ordinance was fully passed by the members of the Town Council this 2nd day of Sept, 2014.

THE TOWN COUNCIL OF FISHERS, HAMILTON COUNTY, INDIANA

AYE		NAY
BY: <u>[Signature]</u>	John W. Weingardt, President	_____
<u>[Signature]</u>	C. Pete Peterson, Vice President	_____
<u>[Signature]</u>	Michael Colby, Member	_____
<u>[Signature]</u>	Renee Cox, <u>Eric Maeller</u> Member	_____
<u>[Signature]</u>	Stuart F. Easley, Member	_____
_____	Scott A. Faultless, Member	_____
<u>[Signature]</u>	David C. George, Member	_____
ATTEST: <u>[Signature]</u>		
	Linda Gaye Cordell, Clerk-Treasurer, The Town of Fishers, Indiana Ordinance No. 072114	

Approved by: Douglas D. Church, Esq., Church, Church, Hittle and Antrim, Town Attorney
Prepared by: Steven D. Hardin, Esq.,
Faegre Baker Daniels LLP, 600 East 96th Street, Suite 600,
Indianapolis, Indiana 46240. (317) 569-9600.

**ALLISONVILLE PLACE
PLANNED UNIT DEVELOPMENT ORDINANCE
ORDINANCE NO. 120406 B**

AN ORDINANCE AMENDING AND RESTATING THE OLYMPIA ZONING
ORDINANCE OF FISHERS, INDIANA, ADOPTED OCTOBER 15, 2001,
ORDINANCE NO. 080601A.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF FISHERS, INDIANA, THAT THE ZONING ORDINANCE, A PART OF THE COMPREHENSIVE PLAN AND ORDINANCES – 1980, ORDINANCE 1980, ORDINANCE NO. 110380, AS AMENDED, AND AS AMENDED BY OLYMPIA ORDINANCE NO. 080601A (hereinafter the “Zoning Ordinance”), IS HEREBY AMENDED AND RESTATED AS FOLLOWS:

SECTION 1. DECLARATION.

That the text of the Zoning Code of the Town of Fishers, Indiana, Ordinance No. 110380, as amended and restated on October 16, 2006, upon the adoption of a new Uniform Development Ordinance, Ordinance #090605A, (hereinafter referred to herein as the “UDO”) and the Official Zoning Map, Town of Fishers, Indiana, dated November 3, 1980, which accompanies and is part of the Zoning Code of the Town of Fishers, Indiana, and as amended by Olympia Ordinance No. 080601A, adopted October 15, 2001, are hereby amended as follows:

The Zoning Classification of the real estate described in Exhibit “A” hereto, (the "Real Estate"), is zoned PUD per the terms of this ordinance, which shall hereinafter be referred to as the “Commercial PUD Ordinance.”

SECTION 2. PURPOSE AND INTENT.

The purpose and intent of this Commercial PUD Ordinance is to permit flexibility and creativity in development of the Real Estate.

SECTION 3. DEVELOPMENT STANDARDS.

The Development Standards for the Real Estate shall be as follows.

Maximum Square Footage of Any Building	22,000 square feet
Maximum Building Height	35 feet All buildings on Parcels A, B and C shall be one-story unless approved by the PUD Committee as a part of its review of the Final Development Plan.

<p>Signage</p>	<p>Per Sign Ordinance of the Town of Fishers, Indiana and as provided in Section 6 below for wall signage, except that four (4) ground signs shall be permitted as follows:</p> <ul style="list-style-type: none"> ● one ground sign, not to exceed eight (8) feet in height and sixty (60) square feet in sign area, may be erected at the northeast corner of Parcel A, at the intersection of Easy Street and Allisonville Road, and shall identify the retail and office development on Parcels A, B, C and D; and ● one ground sign may be erected on the northernmost lot of Parcel A not to exceed five (5) feet in height and thirty-two (32) square feet in sign area and located in accordance with the approval of the Final Development Plan by the PUD Committee; and ● one ground sign, not to exceed six (6) feet in height and sixty (60) square feet in sign area, may be erected at the intersection of Kennel Drive and Allisonville Road (the full access intersection with Allisonville Road in Parcel B), and may include copy identifying up to four (4) tenants; and ● one ground sign, not to exceed eight (8) feet in height and sixty (60) square feet in sign area, to identify the commercial development on Parcel D, may be erected at the northeast corner of Parcel D-at the intersection of Easy Street and Office Center Drive; <p>Please see the Site Illustration Plan (Exhibit "D") for approximate sign locations.</p> <p>The ground signs shall be architecturally compatible with the development and shall use the same materials outlined for the buildings in Section 6. Support structures shall be constructed of masonry materials or EIFS.</p>
<p>Dumpster and Trash Compactors</p>	<p>Dumpster and trash compactors shall be enclosed by a masonry enclosure and gated. All enclosures shall have a shadow box style wood gate.</p>

Outdoor Display Areas	Permanent outdoor display areas must be surrounded by a combination of a masonry wall or wrought iron fencing, or a combination of both, 2.5 feet in height.
Landscape Buffers	A thirty (30) foot landscape buffer shall be established along the west boundary of Parcel D as shown on the Conceptual Site Plan, (Exhibit "B") with mounding as shown on the West Landscape Buffer Detail Plan (Exhibit "C"). To the extent that there are healthy, existing mature trees within the buffer area, those trees will be preserved and an appropriate landscaping area will be provided in lieu of the mounding, all as approved by the staff of the Development Department and the PUD Committee. A fifteen (15) foot landscape buffer shall run along the east boundary of the Real Estate along Allisonville Road, as shown on the Conceptual Site Plan. Landscaping within these buffer areas shall be approved by the PUD Committee.
Lighting	Lighting standards shall be in accordance with the UDO. All perimeter lighting shall be fully shielded with full cutoff fixtures to prevent direct lighting on Easy Street, Allisonville Road, or adjacent properties.
Parking	Parking shall be provided in accordance with the standards set forth in the UDO for the office and retail uses. A group of adjacent properties may provide a shared parking area in accordance with and pursuant to the UDO.
Front, Side and Rear Setbacks	<p>Building setbacks of 25 feet shall be provided on Easy Street and Kennel Drive, the street which has a full access intersection with Allisonville Road, 50 feet on Allisonville Road; and 20 feet on all other streets, drives and ways within the Real Estate.</p> <p>Lots in Parcels A and B shall have minimum side and rear setbacks as prescribed for the C-2 Neighborhood Business District under the UDO. Lots in Parcels C and D shall have minimum side and rear setbacks as prescribed for the C-1 Commercial District; provided,</p>

<p>Front, Side and Rear Setbacks (cont.)</p>	<p>however, that lots which abut a residential district, ("Perimeter Lots"), shall have side setbacks of 25 feet, exclusive of any driveway or parking area, and rear setbacks of not less than 50 feet. The rear setback may be used for off-street parking; subject to the landscape buffer requirements set forth herein.</p>
	<p>The side and rear setback requirements for the Perimeter Lots which abut areas that are zoned for residential uses but where a commercial use, legally established by variance or lawful non-conforming use, exists shall be determined in accordance with the minimum side and rear setbacks for the C-1 Commercial District, subject to the landscape buffer requirements set forth herein.</p>

SECTION 4. PERMITTED USES.

The commercial uses defined in Categories A and B, as set forth in Schedule I, attached hereto and incorporated herein, together with the additional permitted uses set forth below, shall be allowed on the Real Estate as follows:

<p>Parcel A</p>	<p>All uses set forth in Schedule I under Categories A and B of Schedule I and other similar uses, together with Coffee Houses (including those that primarily offer baked goods, such as donuts, pastries, bagels, muffins and other baked goods), the following restaurants: Deli Style and Ice Cream Shop/Parlors, Family, Fine Dining, and Takeout Restaurants and only one Fast Food Restaurant. If a Fast Food Restaurant is located on Parcel A, it must be located on Lot 2 (as shown on the Site Illustration Plan Exhibit "D").</p>
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Parcel B	All uses set forth in Schedule I under Categories A and B of Schedule I and other similar uses, together with Coffee Houses (including those that primarily offer baked goods, such as donuts, pastries, bagels, muffins and other baked goods), the following restaurants: Deli Style and Ice Cream Shop/Parlors, Family, Fine Dining, and Takeout Restaurants . No Fast Food Restaurants are permitted.
Parcels C & D	Only uses permitted in Category A as set forth in Schedule I and other similar uses shall be permitted.

The terms in **bold** are defined in the UDO.

SECTION 5. CONCEPTUAL SITE PLAN

The Conceptual Site Plan is attached hereto and incorporated herein by reference as Exhibit "B".

SECTION 6. ARCHITECTURAL STANDARDS

Building Signage	All wall signage shall be internally illuminated lit individual letters except that the office buildings may use reverse channel neon letters or individual backlit ("halo") letters. All other wall signage requirements shall be in conformance with the Sign Ordinance of the Town of Fishers.
Exterior Building Materials	Exterior building materials shall be high quality materials, including, but not limited to: brick; wood; limestone; other native materials; tinted/textured concrete masonry units of varying scales; and EIFS. The use of contemporary materials such as aluminum, other metals, fiber glass and plastics for exterior surfaces on architecturally significant structures shall be prohibited unless the use of such materials (i) is approved by the PUD Committee and (ii) would contribute to preservation or enhancement of existing traditional materials and the overall integrity and longevity of the structure.

Building Facade and Trim	<p>Façade colors shall be low reflectance, subtle, neutral or earth tone colors. Facades that are greater than 60 feet in length, measured horizontally, shall incorporate columns, wall plane projections or recesses or other architectural relief elements. No uninterrupted length of any façade shall exceed 60 horizontal feet.</p> <p>Building trim and accent areas may feature brighter colors, including primary colors.</p>
Mechanical Equipment	<p>All buildings shall screen all mechanical equipment, including that which is mounted to the roof and/or ground in accordance with the provisions of the UDO.</p>
Building Design	<p>The primary buildings on Parcels A, B and C shall be of a commercial design with residential features consistent with the conceptual design set forth in Exhibit "E" All single tenant buildings on Parcels A, B and C shall incorporate the elements of the brick, masonry and EIFS materials shown on the conceptual drawings in Exhibit "E." Primary buildings on Parcel D shall have residential style pitched roofs (6/12 pitch) with asphalt shingles.</p> <p>All buildings shall incorporate brick, masonry and/or EIFS materials on the front and side facades. The rear facade of all buildings shall incorporate brick and/or masonry materials.</p> <p>All building design shall be consistent with the conceptual design (including the Fast Food Restaurant, if applicable) and subject to the approval of the PUD Committee.</p>

SECTION 7. PROCEDURES.

The adoption of this ordinance and the subsequent consideration of any detailed and final development plan shall be consistent with and pursuant to the provisions of the Planned Unit Development process as set forth in UDO.

SECTION 8. APPROVAL.

This Commercial PUD Ordinance shall be in full force and effect from and after its passage by the Town Council. All provisions or parts thereof in conflict herewith are hereby repealed.

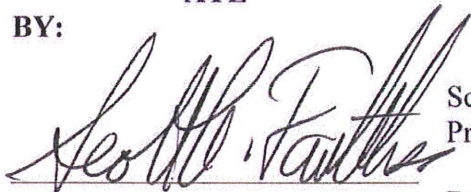
ADOPTED BY THE Town Council of the Town of Fishers, Indiana on this 9th day of MAY, 2007.

THE TOWN COUNCIL OF THE TOWN OF FISHERS, HAMILTON COUNTY, INDIANA

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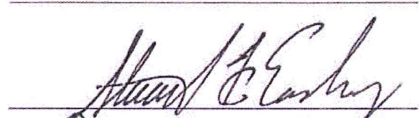
BY:



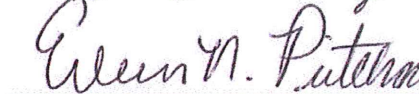
Scott A. Faultless,
President



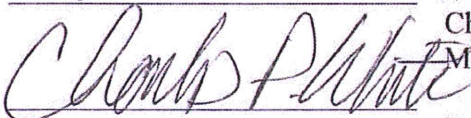
Daniel E. Henke,
Vice President



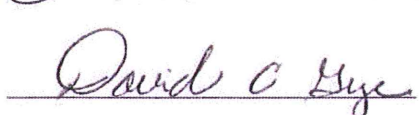
Stuart F. Easley,
Member



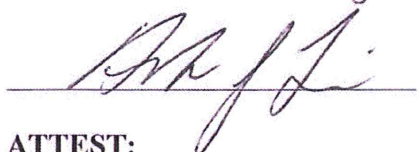
Eileen Pritchard,
Member



Charles P. White,
Member

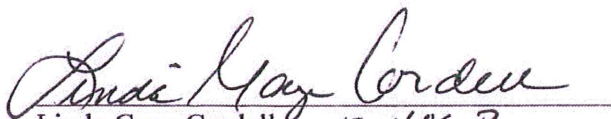


David C. George,
Member



Arthur J. Levine,
Member

ATTEST:



Linda Gaye Cordell
Clerk-Treasurer
Town of Fishers, Indiana

DATE: 5-9-07

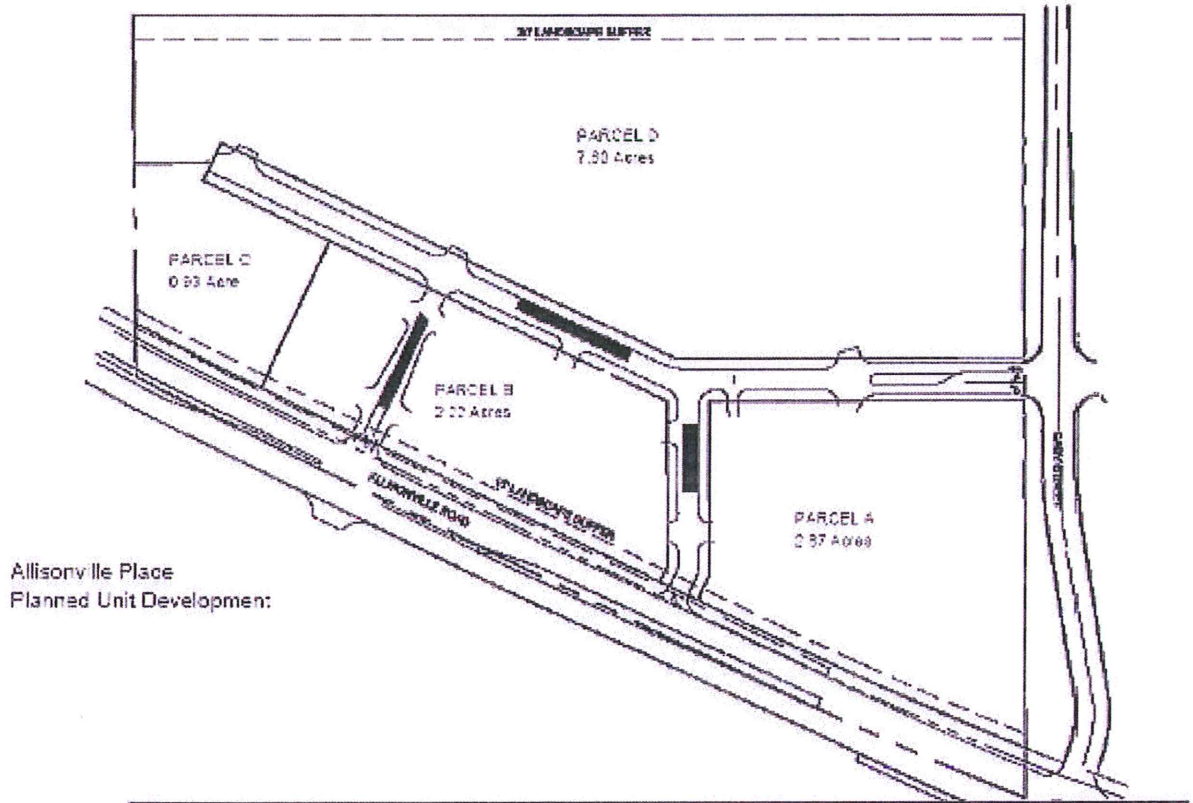
Prepared by: Paul G. Reis, Esq., Bose McKinney & Evans LLP, Suite 300, 301 Pennsylvania Parkway, Indianapolis, IN 46280, (317) 684-5300.

EXHIBIT ALEGAL DESCRIPTION

Part of the Southwest Quarter of Section 2, Township 17 North, Range 4 East in Delaware Township, Hamilton County, Indiana, described as follows:

Commencing at the Northwest corner of the Southwest Quarter of Section 2, Township 17 North, Range 4 East; thence South 00 degrees 55 minutes 12 seconds West (assumed bearing) on the West line of said Southwest Quarter 115.00 feet to the Northwest corner of Gatewood, Section Two, a subdivision in Hamilton County, Indiana, the Secondary Plat of which is recorded in Plat cabinet No.1, on Slide 48, as Instrument #8919904 in the Office of the Recorder of Hamilton County, Indiana; thence South 89 degrees 22 minutes 54-seconds East on the North line of said Subdivision, measured parallel with the North line of said Southwest Quarter, and the prolongation thereof, being the North line of Gatewood, Section One, a subdivision in Hamilton County, Indiana, the Secondary Plat of which is recorded in Plat Cabinet No.1, on Slide 47, as Instrument #8919903, in the Office of the Recorder of Hamilton County, Indiana, a total distance of 1203.80 feet to the Northeast corner of said Gatewood, Section One, said point being the POINT OF BEGINNING; thence South 01 degree 03 minutes 47 seconds West on the Easterly line of said Gatewood, Section One, 1074.20 feet to a point 1189.20 feet South of the North line of said Southwest Quarter, being the Northwesterly corner of real estate described on page 678, of Deed Record 309, in said Recorder's Office; thence deflecting left 91 degrees 05 minutes 00 seconds East 424.50 feet, deed (on a bearing of North 89 degrees 58 minutes 47 seconds East 425.58 feet, measured) on the Northerly line of said real estate to a point of the centerline of Allisonville Avenue, as now located and improved per I.S.H.C. plans for State Road #37, as Project #297, Sec. B, dated 1938, said centerline being on a curve, the radius point of which lies 2864.79 feet North 60 degrees 46 minutes 55 seconds West from said point; thence Northeasterly, curving to the left on said centerline, an arc distance of 135.44 feet to the point of tangency of said curve at a point 2864.79 feet South 63 degrees 29 minutes 27 seconds East of said radius point; thence North 26 degrees 30 minutes 33 seconds East on said centerline 689.30 feet to the point of curvature of a curve to the left having a radius of 4725.20 feet; thence Northeasterly, curving to the left on said centerline, an arc distance of 359.38 feet to a point which is 115.00 feet South of the North line of said Southwest Quarter; thence North 89 degrees 22 minutes 54 seconds West parallel with said North line 924.82 feet to the POINT OF BEGINNING, containing 16.79 acres, more or less.

EXHIBIT B
Conceptual Site Plan



Allisonville Place
Planned Unit Development:

SITE CONCEPT PLAN
PAR. 1 - 07



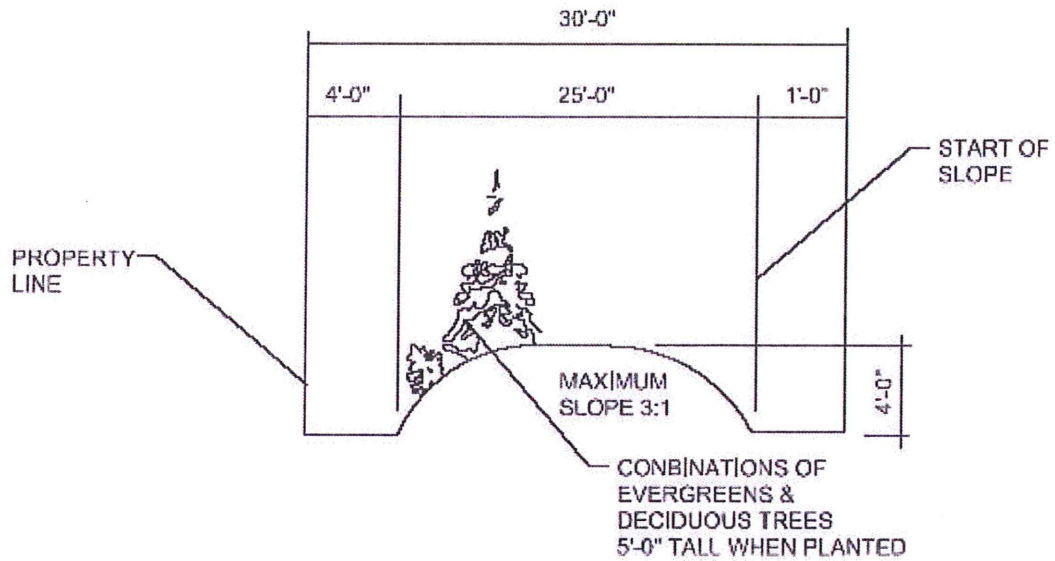
Prepared by: DeBay Land Development Services

This site concept plan for the Allisonville Place Planned Unit Development shows the approximate location of the right-in/right-out curb cut on Allisonville Road. The exact location of the curb cut will be established with the approval of the Final Development Plan for Parcel A. The location of the line dividing Parcels B and C will be established with the Final Development Plans for those parcels.

NOT TO SCALE

EXHIBIT C

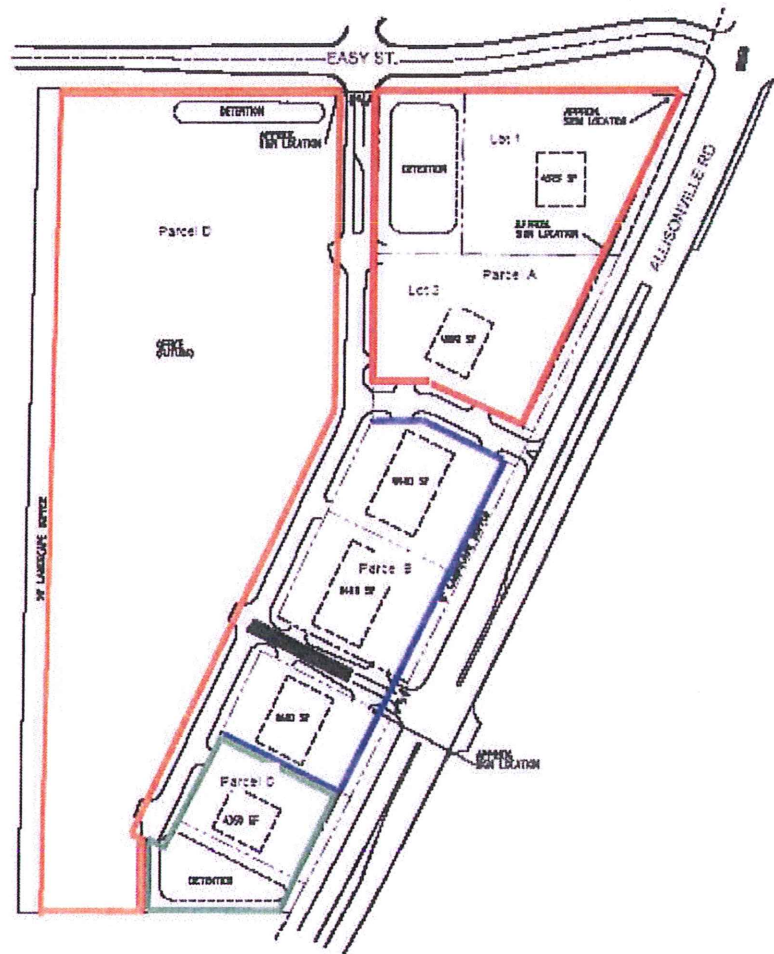
WEST LANDSCAPE BUFFER DETAIL PLAN



SECTION THRU REAR PROPERTY LINE

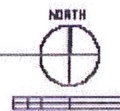
SCALE: NTS

EXHIBIT D



SITE ILLUSTRATION PLAN

SCALE: NTS



Development details, including building sizes and locations, the north curb cut and detention areas, are conceptual and for illustration purposes only.

ALLISONVILLE PLACE PLANNED UNIT DEVELOPMENT ORDINANCE

CONCEPTUAL BUILDING ELEVATIONS
for illustration purposes – final design to be approved by PUD
Committee



SCHEDULE I

PERMITTED USES

A. Category A – permitted commercial uses:

- (1) Office or office complex:
 - Professional offices
 - Bank, savings and loan, financial services
 - Real estate, insurance
 - Clinic, medical or dental
 - Nursing and convalescent homes
 - Medical or dental laboratories
 - Utility business office
 - Business offices related to local services
 - Mortuaries

- (2) Public and semi-public:
 - Libraries
 - Community centers
 - Governmental offices and buildings, limited to offices or clerical use only
 - Fire station
 - Civic clubs or recreational facilities
 - Parking areas for employees and public use

- (3) Schools, private and professional:
 - Dance
 - Music
 - Business
 - Clerical
 - Kindergarten, day nursery, day care
 - Arts and crafts

- (4) Accessory structures and uses.
 - (a) Accessory structures and uses shall be allowed which are subordinate, appropriate and incidental to the above permitted primary uses, including supportive services directly related to and in the same building with the primary use, provided no exterior signage announcing such services or advertising to the public shall be permitted. Such permitted supportive services shall include pharmacy accessory to building medical offices, cafeteria, tobacco/candy/newspaper counter and similar uses designed and operated principally for service to building occupants, provided the total area occupied by such accessory shall not exceed 10% of the gross leasable area of the building.

- (b) Satellite television receiving-only antennas.
1. Satellite television receiving-only antennas shall be permitted as an accessory structure within the following standards subject to the setback requirements of the business zone.
 2. In all business districts a satellite television receiving-only antenna may have a maximum height of 12 feet above the ground, and when located on the roof of a building in a business district shall not exceed the height limitation for the district in which it is located.
 3. In a business district a satellite television receiving-only antenna shall not be located within 15 feet of any public right-of-way line.
 4. A satellite television receiving-only antenna having printed matter on its surface shall be treated as a sign in conformance with the regulations of the Zoning Code.
 5. An improvement location permit shall be required prior to the placement of all satellite television receiving-only antennas within a business district located on the ground of a building lot.
 6. All cables and connection from an antenna to other equipment on the premises shall be buried underground when an antenna is located on the ground, or appropriately concealed when an antenna is located on a building.
 7. Businesses selling or leasing satellite television receiving-only antennas may display antennas in the front yard of their businesses subject to the restrictions in divisions 1, 3, 5, and 6 of this section. Businesses shall take every precaution to safeguard the public from cables and connections to displayed antennas. All cables and connections shall be located out of the pedestrian walkways and vehicular parking areas and driveways adjacent to the respective business.

(5) Temporary structures and uses. Temporary structures and uses may include temporary signs, fences, walls, buildings, trailers, barricades and similar temporary structures incidental to the development of land during construction. These uses shall be shown and included in the plans and specifications with the application for the improvement location permit for the primary use and shall be removed concurrently with completion of construction of the primary use.

B. Category B – permitted commercial uses:

- (1) All uses allowed in the Category A-commercial uses listed above.
- (2) Shops and markets:
 - Bakery, retail outlet only
 - Barber shop
 - Beauty shop
 - Dairy—ice cream shop
 - Drug store
 - Meat market
 - Restaurant—A sit-down may have a liquor license if:
 - (1) Suitable kitchen facilities are on the premises;
 - (2) A primary use of the restaurant is for sit-down service to patrons;
 - (3) Adequate seating arrangements for patrons on the premises;
 - (4) Sale of alcoholic beverages is an incidental use to that of a sit-down restaurant.
 - Conventional table service
 - Cafeteria
 - Delicatessen
 - Grocery
- (3) Service shops:
 - Apparel store
 - Appliance store
 - Appliance repair
 - Shoe repair shop
 - Flower and garden shop
 - Gift shop
 - Jewelry shop
 - Dry cleaners, retail outlet only
 - Self service laundry and cleaners
 - Pet shop
 - Post office
 - Record shop
 - Stationery store
 - Variety store
 - Millinery shop
 - Hardware and paint store
 - Tailor shop
 - Utilities office, retail service only
 - Photographic studios
 - Reducing or health salons
- (4) Consumer oriented retail sales and services

(5) Neighborhood retail shopping. Neighborhood retail shopping shall mean a coordinated development of retail buildings composed of a mix of the permitted commercial uses as provided for in this ordinance. The total gross floor area of the retail development on Parcels A, B and C shall not exceed 90,000 square feet. As stated above, no single building on Parcels A, B or C shall exceed 22,000 square feet of gross floor area. See Site Illustration Plan, Exhibit "D."

(6) Accessory structures and uses.

(a) Accessory structures and uses, which are subordinate, appropriate and incidental to the above permitted uses, including supportive services related to, and in the same building with, the primary use, provided no exterior signage announces such services or advertises such to the public, shall be allowed.

(b) Satellite television receiving-only antennas.

1. Satellite television receiving-only antennas shall be permitted as structures within the following standards subject to the setback requirements of the business zone.
2. In all business districts a satellite television receiving-only antenna may have a maximum height of 12 feet above the ground, and when located on the roof of a building in a business district shall not exceed the height limitation for the district in which it is located.
3. In a business district a satellite television receiving-only antenna shall not be located within 15 feet of any public right-of-way line.
4. A satellite television receiving only antenna having printed matter on its surface shall be treated as a sign in conformance with the regulations of the Zoning Code.
5. An improvement location permit shall be required prior to the placement of all satellite television receiving-only antennas within a business district located on the ground of a building lot.
6. All cables and connections from an antenna to other equipment on the premises shall be buried underground when an antenna is located on the ground, or appropriately concealed when an antenna is located on a building.
7. Businesses selling or leasing satellite television receiving-only antennas may display antennas in the front yard of their businesses subject to the restrictions in divisions 1, 3, 5, and 6 of this section. Businesses shall take every precaution to safeguard the public from

cables and connections to displayed antennas. All cables and connections shall be located out of the pedestrian walkways and vehicular parking areas and driveways adjacent to the respective business.

(7) Temporary structures and uses. Temporary structures and uses may include temporary signs, fences, walls, buildings, trailers, barricades and similar temporary structures incidental to the development of land during construction. Their uses shall be shown and included in the plans, specifications and with the application for the Improvement Location Permit for the primary use, and all temporary structures or buildings shall be removed concurrently with the completion of the construction of the primary use.

**OLYMPIA
ORDINANCE NO. 080601A**

AN ORDINANCE AMENDING THE ZONING ORDINANCE
OF FISHERS, INDIANA - 1980.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF FISHERS, INDIANA, THAT THE ZONING ORDINANCE, A PART OF THE COMPREHENSIVE PLAN AND ORDINANCES -1980, ORDINANCE 1980, ORDINANCE -1980, ORDINANCE NO.110380 (the "Zoning Ordinance"), AS AMENDED, IS HEREBY AMENDED AS FOLLOWS:

SECTION 1. DECLARATION.

That the text of the Zoning Code of the Town of Fishers, Indiana, Ordinance No. 110380, and the Official Zoning Map, Town of Fishers, Indiana, dated November 3, 1980, which accompanies and is part of the Zoning Code of the Town of Fishers, Indiana, as amended, are hereby amended as follows:

The Zoning Classification of the real estate described in Exhibit "A" hereto is zoned PUD per the terms of this Ordinance, which shall hereinafter be referred to as the Commercial PUD Ordinance.

SECTION 2. PURPOSE AND INTENT.

The purpose and intent of this Commercial PUD Ordinance is to permit flexibility and creativity in development of the Real Estate.

SECTION 3. DEVELOPMENTAL STANDARDS.

The Development Standards are specified in what is attached hereto and incorporated herein as Exhibit "B".

SECTION 4. LAND USE.

Uses permitted under Commercial Districts C1 and C2 of the Zoning Ordinance, together with (I) convalescent, nursing home and assisted living uses and (ii) one restaurant offering fast food services.

SECTION 5. CONCEPTUAL SITE PLAN.

The Conceptual Site Plan is attached hereto and incorporated herein by reference as Exhibit "C".

SECTION 6. PROCEDURES.

The adoption of this ordinance and the subsequent consideration of any detailed and final development Plan shall be consistent with and pursuant to the provisions of the Planned Unit Development process as set forth in Section 151.072 Planned Unit Development District.

SECTION 7. APPROVAL.

This Commercial PUD Ordinance shall be in full force and effect from and after its passage by the Town Council. All provisions or parts thereof in conflict herewith are hereby repealed.

ADOPTED BY THE Town Council of the Town of Fishers, Indiana on this 15th day of October, 2001.

THE TOWN COUNCIL OF THE TOWN OF FISHERS, HAMILTON COUNTY, INDIANA
AYE NAY

BY:

Scott A. Faultless /s/ Scott A. Faultless,
President

Timothy O. Lima /s/ Timothy O. Lima,
Vice President

Charles P. White /s/ Charles P. White,
Member

_____ Stuart F. Easley,
Member

Eileen Pritchard /s/ Eileen Pritchard,
Member

James W. Wallace /s/ James W. Wallace,
Member

Dan E. Henke /s/ Dan E. Henke,
Member

ATTEST:

Linda Gaye Cordell /s/
Linda Gaye Cordell
Clerk-Treasurer
Town of Fishers, Indiana

DATE: _____

Prepared by: Charles D. Frankenberger, NELSON & FRANKENBERGER, 3021 E. 98th Street, Suite 220, Indianapolis, IN 46280, (317) 844-0106.

EXHIBIT "A"

Legal Description

Part of the Southwest Quarter of Section 2, Township 17 North, Range 4 East in Delaware Township, Hamilton County, Indiana, described as follows:

Commencing at the Northwest corner of the Southwest Quarter of Section 2, Township 17 North, Range 4 East; thence South 00 degrees 55 minutes 12 seconds West (assumed bearing) on the West line of said Southwest Quarter 115.00 feet to the Northwest corner of GATEWOOD, SECTION TWO, a subdivision in Hamilton County, Indiana, the Secondary Plat of which is recorded in Plat Cabinet No. 1, on Slide 48 as Instrument 8919904 in the Office of the Recorder of Hamilton County, Indiana; thence South 89 degrees 22 minutes 54 seconds East on the North line of said subdivision, measured parallel with the North line of said Southwest Quarter, and the prolongation thereof, being the North line of GATEWOOD, SECTION ONE, a subdivision in Hamilton County, Indiana, the Secondary Plat of which is recorded in Plat Cabinet No. 1, on Slide 47 as Instrument 8919903 in said Recorder's Office, a total distance of 1203.80 feet to the Northeast corner of said GATEWOOD, SECTION ONE; thence South 01 degree 03 minutes 47 seconds West on the Easterly line of said GATEWOOD, SECTION ONE, 1074.20 feet to a point 1189.20 feet South of the North line of said Southwest Quarter, being the Northwesterly corner of real estate described on page 678 of Deed Record 309 in said Recorder's Office; thence deflecting left 91 degrees 05 minutes 00 seconds East

424.50 feet, deed (on a bearing of North 89 degrees 58 minutes 47 seconds East 425.58 feet, measured) on the Northerly line of said real estate to a point on the centerline of Allisonville Avenue, as now located and improved per I.S.H.C. plans for State Road #37, as Project #297, Sec. B, dated 1938, said centerline being on a curve, the radius point of which lies 2864.79 feet North 60 degrees 46 minutes 55 seconds West from said point; thence Northeasterly, curving to the left on said centerline, an arc distance of 135.44 feet to the point of tangency of said curve at a point 2864.79 feet South 63 degrees 29 minutes 27 seconds East of said radius point; thence North 26 degrees 30 minutes 33 seconds East on said centerline 689.30 feet to the point of curvature of a curve to the left having a radius of 4775.48 feet; thence Northeasterly, curving to the left on said centerline, an arc distance of 359.38 feet to a point which is 115.00 feet South of the North line of said Southwest Quarter; thence North 89 degrees 22 minutes 54 seconds West parallel with said North line 924.82 feet to the place of beginning, containing 16.79 acres, more or less.

EXHIBIT "B"

Development Standards

Maximum Square Footage of Any Building	22,000
Maximum Building Height	35 Feet
Signage	Per Sign Ordinance of the Town of Fishers, Indiana
Permitted Uses - Parcel A	All uses permitted in the Commercial District C-1 of the Zoning Ordinance
Permitted Uses - Parcel B-1	All uses permitted in the Commercial District C-2 of the Zoning Ordinance; provided, however, that fast food restaurants, auto service stations, and gasoline sales are prohibited.
Permitted Uses - Parcel B-2	One fast food restaurant and all uses permitted in the Commercial District C-2 of the Zoning Ordinance, including gasoline sales. There can be either one fast food restaurant or gasoline sales in Parcel B-2, but not both. In other words, if there are gasoline sales in Parcel B-2, there can be no fast food restaurant, and if there is a fast food restaurant in Parcel B-2, there can be no gasoline sales.
Front, Rear, and Side Yard Set Backs	As defined in the Commercial District C-1 of the Zoning Ordinance for Parcel A, and as defined in the Commercial District C-2 of the Zoning Ordinance for Parcels B-1 and B-2.

Architectural standards

1. All roofs will be pitched residential style with asphalt shingles;
2. Exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, tinted/textured concrete masonry units and EIFS. The use of contemporary materials such as aluminum, other metals, fiber glass and plastics for exterior surfaces on architecturally significant structures shall be prohibited unless the use of such materials (i) is approved by the PD Committee and (ii) would contribute to preservation or

enhancement of existing traditional materials and the overall integrity and longevity of the structure;

3. Facade colors shall be low reflectance, subtle, neutral or earth tone colors;
4. Building trim and accent areas may feature brighter colors, including primary colors;
5. No building, except buildings used for nursing, convalescent and assisted living services, shall be more than one story in height. Buildings used for assisted nursing, convalescent, and assisted living services may exceed one story in height;
6. All buildings shall screen all mechanical equipment, including that which is mounted to the roof and/or ground; and
7. Gasoline service station canopies shall be architecturally compatible. Gasoline pumps and bays are to be located on the west side of the building located on Parcel B-2.

Signage

1. All wall signage shall be reverse channel letter neon.
2. All other signage requirements shall be in conformance with Sign Ordinance of the Town of Fishers.
3. Ground signs shall be architecturally compatible.

Lighting

1. Except for areas adjacent to public rights-of-way, lighting shall be limited to 0.5-foot candles at the property line.
2. There shall be no greater than a ten-foot candle maximum on site.
3. Light poles shall be limited to 30 feet in height.
4. Site illumination into the atmosphere shall be restricted through the use of shields on the fixture to include a horizontal lamp and no more than a 180-degree angle of light.

Accessory uses

1. Dumpster and trash compactors shall be enclosed by a masonry enclosure and gated.
2. No outdoor sales areas are permitted unless surrounded by a permanent structure consistent with the material of the building.
3. Permanent outdoor display areas are permitted provided that they are surrounded by a combination of a 2.5-foot tall masonry wall or wrought iron fencing or combination of the two.

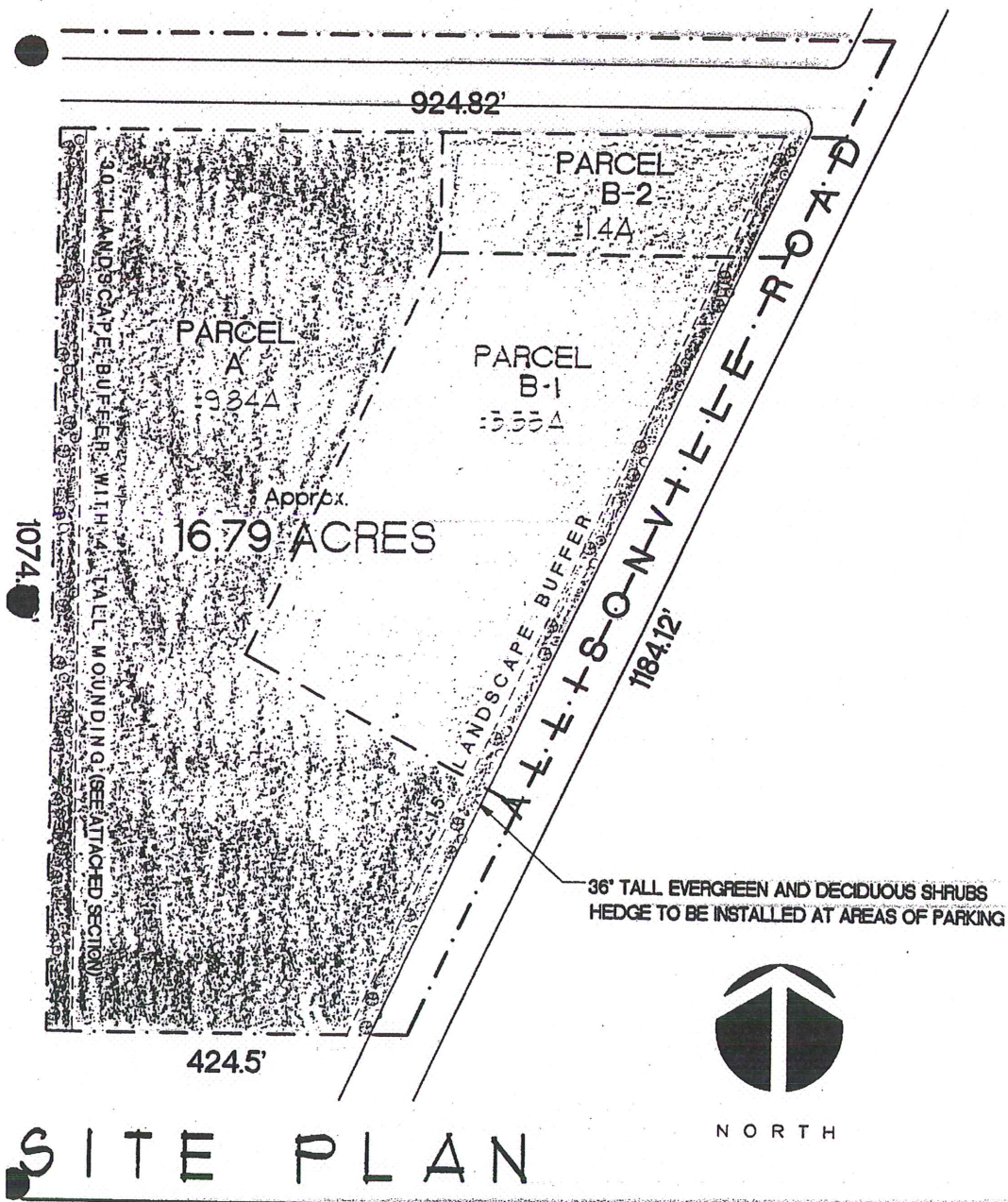
Landscaping

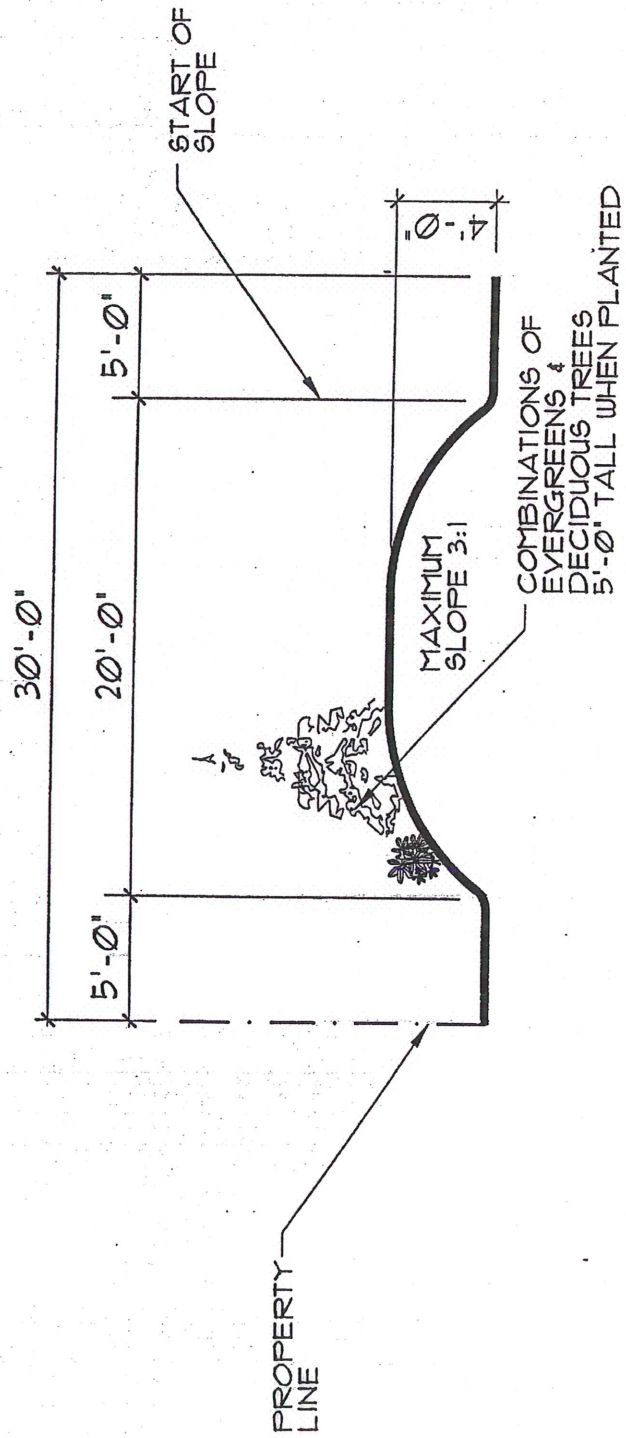
1. Landscaping is generally depicted on the Conceptual Site Plan.
2. The actual landscaping to be installed within the 30-foot and 15-foot landscape areas identified on the Conceptual Site Plan shall be approved by the PD Committee.

Variations

1. The actual configuration and dimensions of Parcels A, B-1, and B-2, as shown on the Conceptual Site Plan, may vary; provided, however, that (a) the gross acreage of Parcel A may not be reduced by more than five percent, (b) the gross acreage for Parcel B-1 may not increase by more than five percent and (c) the gross acreage for Parcel B-2 may not increase by more than ten percent, and (ii) the western and southern perimeter boundaries of the Real Estate must be occupied by only C-1 uses.

EXHIBIT "C"





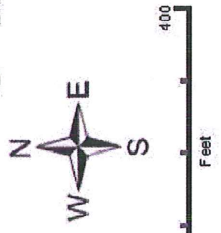
SECTION THRU REAR PROPERTY LINE



5-TA-14 Allisonville Place PUD Text Amendment

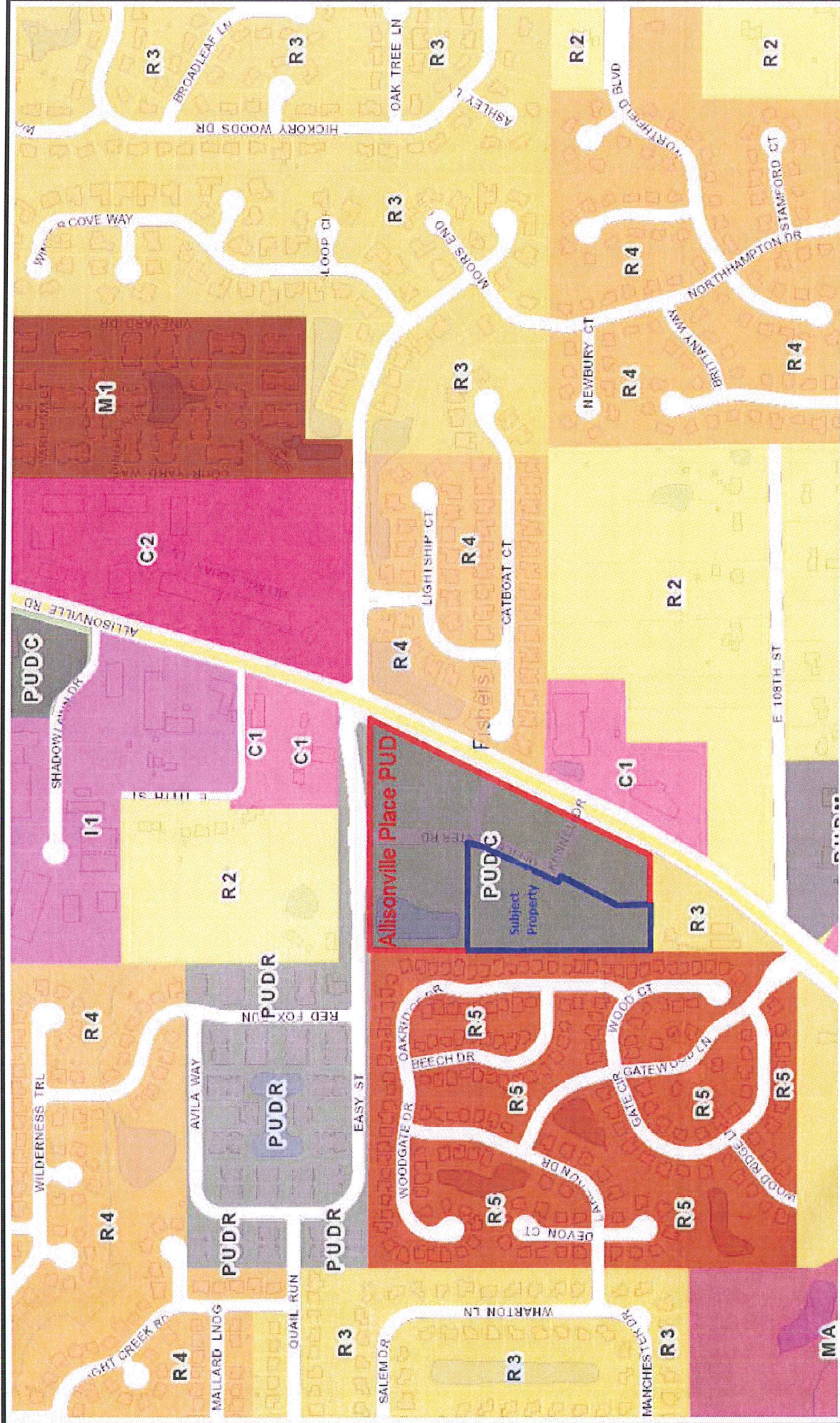
Aerial Map

Printed: Jul 09, 2014



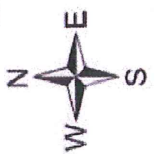
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5-TA-14 Allisonville Place PUD Text Amendment Zoning Map

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