



**ORDINANCE NO. 052024B**

AN ORDINANCE OF THE COMMON COUNCIL OF THE CITY OF FISHERS, HAMILTON COUNTY, INDIANA, AMENDING THE TEXT OF THE OF THE FALL CREEK MARKET PUD ORDINANCE, ORIGINALLY ADOPTED ON OCTOBER 2, 2006, AS ORDINANCE NO. 050106A, AS FOLLOWS:

**SECTION 1. DECLARATION**

That the text of the Fall Creek Market PUD, originally adopted on October 2, 2006, as Ordinance No. 050106A, which is part of the Unified Development Ordinance of the City of Fishers, Indiana, Ordinance No. 071618F, as amended (the "UDO"), is hereby amended as provided herein.

That the Zoning Classification of the following described Real Estate is hereby zoned as PUD-C and this ordinance shall hereinafter be referred to as the "Fall Creek Marketplace PUD Ordinance":

SEE "EXHIBIT A & A-1" ATTACHED HERETO.

**SECTION 2. PURPOSE AND INTENT**

To create a neighborhood commercial district for property located northwest of the intersection of Southeastern Parkway and Cyntheanne Road through the adoption of development standards including architectural design and material standards to aesthetically enhance the commercial areas to be compatible with the surrounding residential neighborhoods.

**SECTION 3. LAND USE**

- A. Grocery Store, which may include bakery, produce, pharmacy, alcohol sales, butcher/meat, floral and similar uses typically found in grocery stores, is permitted provided that no single occupancy may exceed eighty thousand (80,000) gross square feet for an anchor tenant. The 90,000 square foot limitation of the C-2 district shall not apply to the overall Fall Creek Marketplace PUD, provided overall development and individual structures are compliant with the Fall Creek Marketplace PUD concept plan.
- B. The following uses shall be permitted provided that no single occupancy shall exceed 5,000 square feet:
  - 1) Child Care Center
  - 2) Medical
  - 3) Medical Clinic
  - 4) Office
  - 5) Personal Services (Beauty/Hair Salon, Optometrist only)
  - 6) Restaurant (Excluding a bar, tavern, lounge)

- 7) One (1) Vehicle fuel sales/gas station and convenience store
- C. Any adult entertainment uses shall be prohibited.
- D. Package liquor sales shall be prohibited in gas stations/convenience stores or outlots.
- E. Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license.

**SECTION 4. CONCEPTUAL DEVELOPMENT PLAN**

The updated Concept Plan, attached hereto as "Exhibit B", is adopted as part of this ordinance. Adoption of the Concept Plan, however, does not constitute approval of any detailed and final development plans; such further approval is subject to the procedures set out in Section 7, below.

**SECTION 5. DEVELOPMENT STANDARDS**

Except as modified by this Fall Creek Marketplace PUD Ordinance, the development shall comply with the development, landscaping and parking standards of the Zoning Code of the City of Fishers.

**A. Bulk and Density Standards**

1) Building Setbacks

Minimum Front Yard	50'
Minimum Rear Yard	20'
Minimum Side Yard	20'

2) Lot Frontage

- a) Minimum lot frontage may be reduced to 75 feet for one individual outlot. All other lots shall meet the minimum standard of the UDO.

3) Lot Coverage

- a) Lot coverage shall not exceed seventy-five percent (75%) and is inclusive of buildings, parking area and other impervious surfaces, which results in an open space requirement of twenty five percent (25%) of the land area.

4) Building Height

- a) Buildings are restricted to thirty-six feet (36') maximum of two (2) stories (pitched roofs are measured as the mid-point).

- 5) A building on an outlot shall not be larger than 5,000 square feet and shall contain no more than four tenants.

**B. Landscaping**

- 1) The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) canopy trees five (5) evergreen trees and fifteen (15) shrubs per one hundred (100) lineal feet. Existing trees may count towards the requirement. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs



may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.

- 2) All new plantings shall be native.
- 3) Where required, street trees shall be provided at a ratio of one (1) canopy tree per fifty (50 feet). Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan.

### C. Architectural Standards

- 1) All structures within an individual PUD area shall be constructed with similar design, materials and compatible architecture.
- 2) All buildings shall screen all mechanical equipment including that which is mounted to the roof and/or ground.
- 3) The exterior of all buildings adjacent to residentially zoned areas or occupied shall consist of a brick, masonry, stone façade, or stucco or precast concrete materials with brick, stone or masonry surface appearance.
- 4) Facades that have greater than one hundred feet (100') in length, measured horizontally, shall incorporate wall plane projections, recesses, canopy's, or structural screen walls having a depth of at least eight feet (8') and extending at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed one hundred and fifty horizontal feet (150').
- 5) Where large retail structures contain additional, separately owned or leased stores that occupy less than twenty-five thousand (25,000) square feet of gross floor area and have separate, exterior customer entrances, the street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the building facade of such additional stores. Window requirements for the gas service station shall be reduced to forty percent (40%) percent of the horizontal length of the building façade and shall apply only to the primary entrance façade of the gas service station.
- 6) Building facades shall include a repeating pattern that includes no less than three (3) of the following elements:
  - a) Color change;
  - b) Texture change;
  - c) Material module change;
  - d) An expression of architectural or structural bays through a change in plane no less than twelve inches (12") in width, such as an offset, reveal or projecting rib.
- 7) Roof architecture
  - a) Roofs shall have some combination of the following features:
    - (1) All roof areas shall restrict rooftop equipment such as HVAC units from public view by extending the supporting wall or parapet. Such roof features shall contain three-dimensional cornice treatment,
    - (2) Overhanging eaves, extending no less than three feet (3') past the supporting

walls;

- b) Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height. Gasoline service canopies shall have masonry support pillars to support the gas station canopy.
- c) Office uses, separate retail tenants, single story and buildings of less than fifty thousand (50,000) square feet must have pitched roofs to be more residential in character. Notwithstanding, the permitted gasoline service station and its canopy shall be architecturally consistent with the primary grocery use and may have flat roofs.
- d) Flat roofs shall have architectural significance, such as different sections of flat roofs so the roof can be given articulation with different heights. The look of the building shall therefore be softened by the feel of the facade.

8) Materials and colors.

- a) Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, tinted/textured concrete masonry units or precast concrete materials with brick stone or masonry surface appearance.
- b) Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The use of high-intensity colors, metallic colors, black or fluorescent colors shall be prohibited.
- c) Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
- d) Exterior building materials shall not include smooth-faced concrete block, or prefabricated steel panels.

9) Entryways.

- a) Each retail establishment greater than twenty thousand (20,000) square feet shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
  - (1) Canopies or porticos;
  - (2) Overhangs;
  - (3) Recesses/projections;
  - (4) Arcades;
  - (5) Raised corniced parapets over the door;
  - (6) Varied roof forms;
  - (7) Arches;
  - (8) Architectural details such as tile work and moldings which are integrated into the building structure and design;
  - (9) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
- b) All building facades that are visible from public streets shall comply with the requirements of items (1) through (9).

10) Pedestrian circulation

- a) Sidewalks shall be a minimum of five (5) feet in width, however, where applicable, they shall be ten (10) feet in width asphalt in conjunction with the City Parks Plan and to integrate with neighborhoods. Sidewalks shall be provided along all sides

- of the lot that abut a public street.
- b) Continuous internal pedestrian walkways, no less than eight feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of each retail building on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds and ground cover.
  - c) Sidewalks, no less than eight feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. In-ground or permanent planter boxes shall be provided in place of foundation planting along the outer edge of the sidewalk where they do not interfere with pedestrian access/connectivity to provide planting façade.
  - d) Internal pedestrian walkways provided in conformance with part b) above shall provide weather protection features such as awnings or arcades within thirty feet (30') of all customer entrances.
  - e) All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.
- 11) Trash receptacles shall not be located closer to the right-of-way than the primary building, except where the property has frontage along two property lines. Gates shall not face residential use properties; such requirement shall not apply to school-owned and used properties which may be zoned residential. Refuse compactor units located within the loading area shall be screened from adjacent properties or right-of-way along the edge of the loading dock area but shall not require gates to completely enclose the unit.
- 12) Outlot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.

#### **D. Parking and Access**

- 1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO.
- 2) Terminal planting beds may be eliminated adjacent to ADA accessible spaces.
- 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
- 4) Cart corrals shall be constructed of durable materials but may be moveable to facilitate parking lot clearing and maintenance.

#### **E. Signage**

- 1) A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign lighting and color modifications may be addressed as a part of this package.
- 2) The fuel pricing portion of the gas station sign may utilize digital changeable copy panels which remains static except for price changes, provided such signage does not exceed 25% of the overall sign, as measured per face.

#### F. Lighting

- 1) Lighting shall be limited to 0.5-foot candles at the property line. This requirement is exempt when adjacent to public right-of-way.
- 2) Light poles shall be limited to thirty feet (30') in height
- 3) Light fixtures may be decorative along the entrance drives and along public rights-of-way approved as part of the overall architecture, but overall site illumination into the atmosphere shall be restricted through the use of full cut-off fixtures.
- 4) Vehicle canopy lighting shall not exceed 40 foot candles in intensity. All lighting shall be recessed within the canopy structure.
- 5) Pedestrian lighting along the building façade may be satisfied through a combination of building and pole mounted lighting as detailed on the final lighting plan.

### **SECTION 6. OTHER REQUIREMENTS**

The Real Estate shall comply with all City Ordinances (e.g., UDO) in effect as of the date of adoption of this Ordinance, as applicable, except as provided or modified by this PUD Ordinance. The underlying zoning district shall be C2 Commercial.

### **SECTION 7. PROCEDURES.**

Improvements on the Real Estate that is the subject of this Fall Creek Marketplace PUD Ordinance may be developed in phases over time. A Development Plan for each building and phase of development shall be submitted to the City's general PUD Committee (the "Committee") for review and approval prior to the issuance of a building permit. Development plans shall be reviewed and approved based upon compliance with the development and design standards set forth herein. The grocery store shall substantially comply with the rendering attached hereto as "Exhibit C", and the fueling center/convenience store shall substantially comply with the rendering attached hereto as "Exhibit D & D-1"; provided, however, that the Committee shall have the discretion and flexibility, upon the request of the petitioner, to consider and approve modifications pertaining to any development and design standard established or referenced by this Fall Creek Marketplace PUD Ordinance if the Committee determines such modifications are consistent with the intent of this Fall Creek Marketplace PUD Ordinance.

## **SECTION 8. APPROVAL**

This ordinance shall be in full force and effect from and after its passage by the City Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.

052024B

COMMON COUNCIL OF THE CITY OF FISHERS,  
HAMILTON COUNTY, INDIANA

YAY

NAY

ABSTAIN

YAY		NAY	ABSTAIN
<i>Cecilia Coble</i>	Cecilia Coble, President		
<i>[Signature]</i>	C. Pete Peterson, Vice President		
<i>[Signature]</i>	John Weingardt, Member		
<i>Brad DeReamer</i>	Brad DeReamer, Member		
<i>Selina Stoller</i>	Selina Stoller, Member		
<i>Todd Zimmerman</i>	Todd Zimmerman, Member		
<i>John DeLucia</i>	John DeLucia, Member		
<i>Tiffanie Ditlevson</i>	Tiffanie Ditlevson Member		
<i>Bill Stuart</i>	Bill Stuart, Member		

I hereby certify that the foregoing Ordinance/ Resolution was delivered to City of Fishers Mayor Scott Fadness on the 9th day of September 2024 at 7:30 p.m.

ATTEST: *Jennifer L. Kehl*  
Jennifer L. Kehl, Fishers City Clerk



MAYOR'S APPROVAL

*[Signature]*  
Scott A. Fadness, Mayor

SEPTEMBER 9, 2024  
DATE

MAYOR'S VETO

\_\_\_\_\_  
Scott A. Fadness, Mayor

\_\_\_\_\_  
DATE

This instrument prepared by: Lindsey Bennett, City Attorney, City of Fishers, Hamilton County, Indiana, One Municipal Drive, Fishers, Indiana, 46038

"I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law." Lindsey Bennett

EXHIBIT "A"

LAND DESCRIPTION  
FALLS CREEK PLANNED DEVELOPMENT

A PART OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 18 NORTH, RANGE 6 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SAID NORTHEAST QUARTER SECTION, WHICH CORNER IS COLLINEAR AND EQUIDISTANT FROM THE NORTHEAST AND SOUTHEAST CORNERS OF SAID QUARTER SECTION;  
THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, BEING A LINE CONNECTING AFORESAID POINT AND THE HARRISON MONUMENT FOUND AT THE WESTERLY QUARTER-CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 89 DEGREES 37 MINUTES 20 SECONDS WEST, A DISTANCE OF 60.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CYNTHEANNE ROAD CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING THE POINT OF BEGINNING;  
THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 792.62 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL DEDICATED PER INSTRUMENT NUMBER 2011044517, BEING A POINT ON THE NORTH LINE OF THE PARCEL PER INSTRUMENT NUMBER 9809816383;  
THENCE ALONG NORTH LINE OF SAID PARCEL PER INSTRUMENT NUMBER 9809816383, SOUTH 89 DEGREES 44 MINUTES 15 SECONDS WEST, A DISTANCE OF 260.45 FEET TO THE MOST EASTERLY CORNER OF RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500030733, NORTH 56 DEGREES 05 MINUTES 26 SECONDS WEST, A DISTANCE OF 609.05 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 61.58 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE WEST LINE OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 11.92 FEET TO THE NORTHEAST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 49.66 FEET FROM THE SOUTHEAST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500015467, NORTH 54 DEGREES 38 MINUTES 47 SECONDS WEST, A DISTANCE OF 340.77 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 59.12 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG A LINE PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 609.50 FEET TO A POINT ON A LINE 990.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31;  
THENCE ALONG SAID LINE, NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST, A DISTANCE OF 875.09 FEET TO THE NORTHWEST CORNER OF THE PARCEL PREVIOUSLY CONVEYED TO G. MELVIN FEATHERSTON PER DEED RECORD 323 PAGE 205;  
THENCE ALONG THE WEST AND SOUTH LINES OF SAID PARCEL, THE FOLLOWING TWO (2) COURSES:  
1) SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST ALONG A LINE PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 192.50 FEET;  
2) NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST ALONG A LINE PARALLEL TO THE NORTH LINE

OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 166.29 FEET TO THE NORTHWEST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, SAID POINT BEING 60.00 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31;

THENCE ALONG THE WEST RIGHT-OF-WAY LINE OF CYNTHEANNE ROAD, CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 153.42 FEET TO THE POINT OF BEGINNING;

CONTAINING 948,278 SQUARE FEET OR 21.769 ACRES, MORE OR LESS.

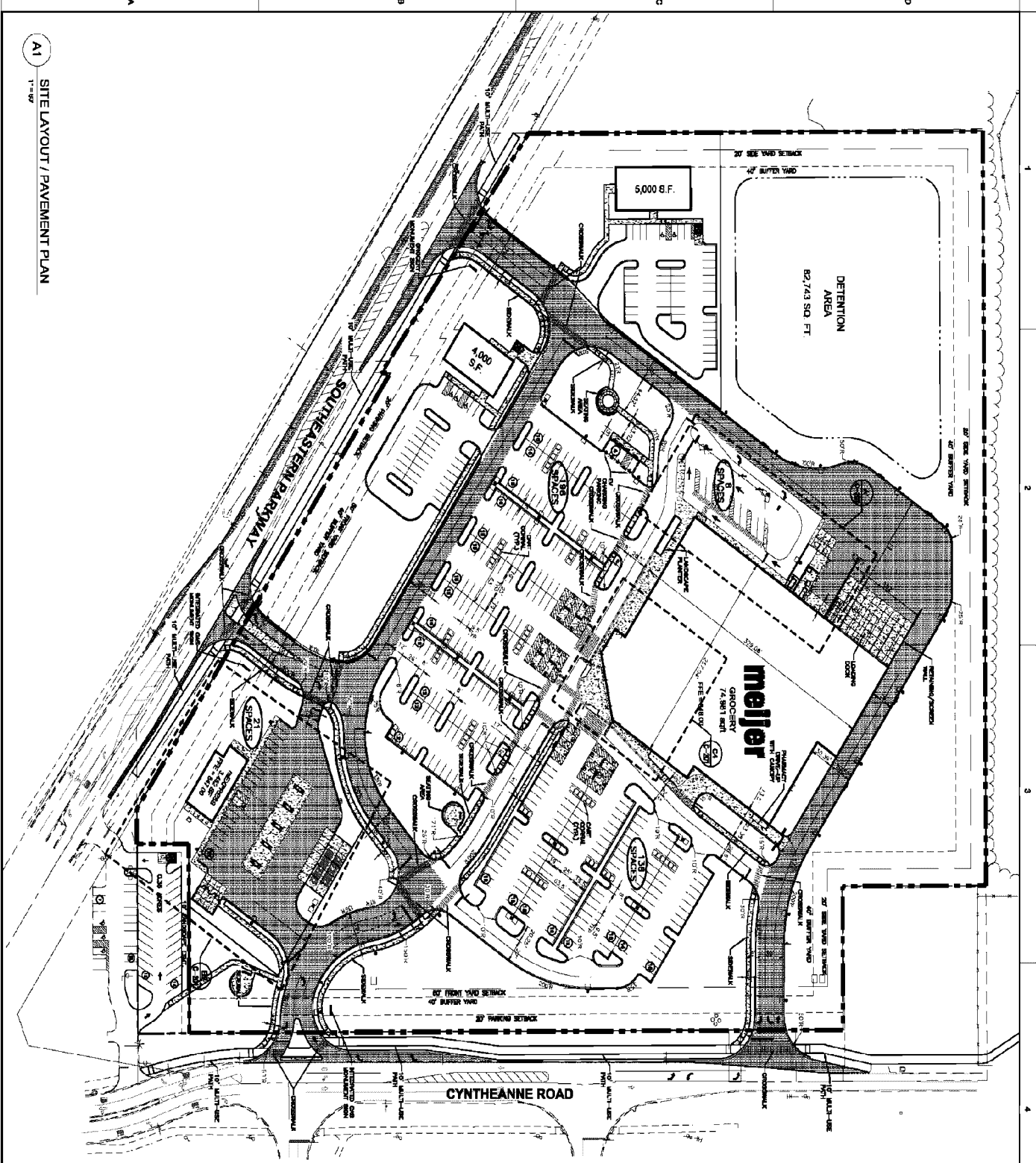
THE BASIS OF BEARINGS REFERENCED HEREON IS THE INDIANA STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83).



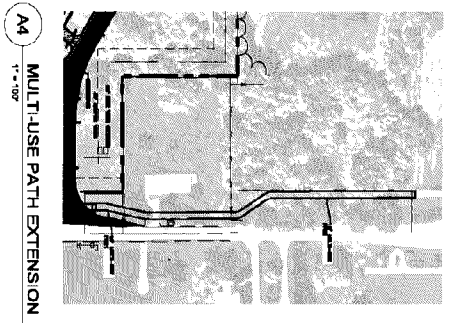


# EXHIBIT B

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 Layout Tab Name: C-200 SITE LAYOUT - PAVEMENT PLAN  
 Last Saved By: A.Ruebelmer, 7/26/2024 11:28:59 AM  
 G:\DEV\Clients\Mejor\10019671 Mejor -SR, Fishers, IN\4.0 Disciplines\Civil\Cadd\Firelm\10019671SIT.dwg Plotted By: Ruebelmer, Alicia Plotted: July 26, 2024, 11:29:24 AM



A1 SITE LAYOUT / PAVEMENT PLAN  
1" = 10'

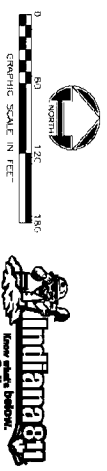


A4 MULTI-USE PATH EXTENSION  
1" = 10'

**LEGEND**

	CONCRETE PAVEMENT		EXISTING BOUNDARY
	HEAVY DUTY ASPHALT PAVEMENT		PROPOSED BOUNDARY
	LIGHT DUTY ASPHALT PAVEMENT		PROPOSED SETBACK
	CLAY TYPE TRANSITION		PROPOSED TOP OF ROAD
	ASPHALT CONCRETE		OPEN SPACE
	ASPHALT CONCRETE WITH AGGREGATE		PROPOSED ACTIVE OPEN SPACE
	ASPHALT CONCRETE WITH AGGREGATE		PROPOSED OPEN SPACE (100)
	ASPHALT CONCRETE WITH AGGREGATE		PROPOSED OPEN SPACE (5000)
	ASPHALT CONCRETE WITH AGGREGATE		PROPOSED OPEN SPACE (10000)
	LIGHT POLE		

- GENERAL NOTES**
- NO DIMENSIONS ARE TO BE TAKEN FROM UNLINED ITEMS TO THE DIMENSIONS OF THE CENTERLINE UNLESS OTHERWISE NOTED.
  - CONCRETE SHALL BE 2800 PSI COMPRESSIVE STRENGTH, 10% OVERSAND, 4" MINIMUM SLAB THICKNESS, 1" MINIMUM COVER, AND 1" MINIMUM JOINT SPACING. ALL CONCRETE SHALL BE FINISHED TO A FINISH OF 1/8" MAXIMUM.
  - ASPHALT SHALL BE 100% ASPHALT EMULSION, 10% OVERSAND, 4" MINIMUM SLAB THICKNESS, 1" MINIMUM COVER, AND 1" MINIMUM JOINT SPACING. ALL ASPHALT SHALL BE FINISHED TO A FINISH OF 1/8" MAXIMUM.
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  - ALL DIMENSIONS SHALL BE 4" UNLESS OTHERWISE NOTED.

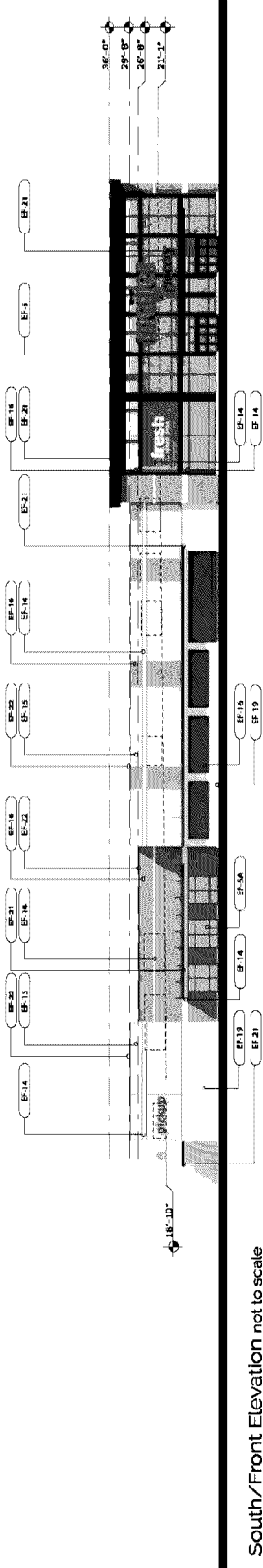


<p><b>MEJER STORE FSR</b>                  XXXX SOUTHEASTERN PARKWAY                  FISHERS, HAMILTON COUNTY, INDIANA 46037</p> <p><b>SITE LAYOUT / PAVEMENT PLAN</b></p>	<p><b>meijer</b></p> <p>2220 WALKER AVENUE                  GRAND RAPIDS, MICHIGAN 49544                  (616) 453-6711</p>	<p><b>WOLPERT</b>                  Architectural Firm, Inc.                  4434 Iowa Drive Boulevard                  Dayton, OH 45424                  937-491-8830</p>	<p>REV. DATE DESCRIPTION</p> <table border="1"> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>			
<p>ISSUED FOR: PROJECT: MEJER STORE FSR                  DRAWN BY: C.200                  CHECKED BY: C.200                  DATE: 10/19/24                  SCALE: AS SHOWN</p>	<p>10019671</p>	<p>C-200</p>				

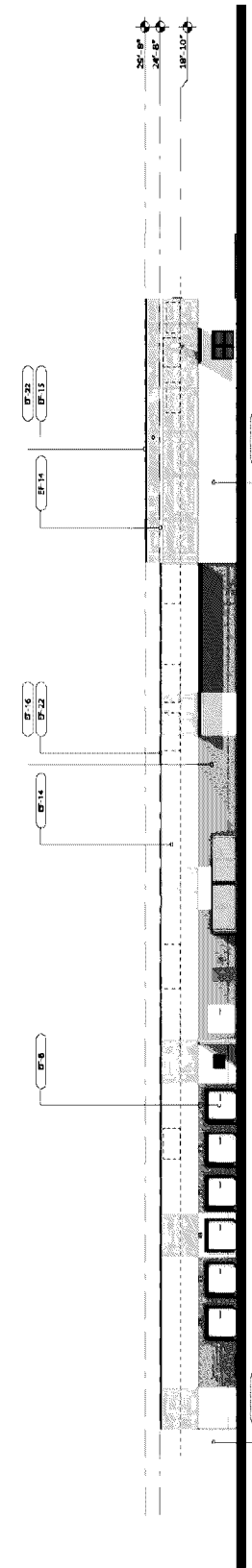
# EXHIBIT C

CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL CLEAR		DARK BRONZE ANODIZED ALUMINUM
EF-5A	1" INSULATED STOREFRONT FRAME WITH CRYSTAL CLEAR GUARDIAN GLASS AND WARM GRAY FRAMED PANEL		WARM GRAY
EF-6	SECTIONAL OVERHEAD DOORS		WHITE
EF-14	INSULATED PRECAST CONCRETE WALL		SW 7535 PATIENCE
EF-15	INSULATED PRECAST CONCRETE WALL - VERTICAL LINEAR	RECOU FORMLINER 275	SW 7339 TENNY TAUPE
EF-16	INSULATED PRECAST CONCRETE WALL - VERTICAL LINEAR	AP FORMLINER MODULAR	SW 7026 GREFFIN
EF-19	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED	BRICK VELO-REF 101A	SW 7642 SPOIL WHITE
EF-20	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED	BRICK VELO-REF 101A	SW 7642 SPOIL WHITE
EF-21	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-25	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7042 SPOIL WHITE
EF-36	CONCRETE PLANTER		CLASS 1000000 CONCRETE PLANTER

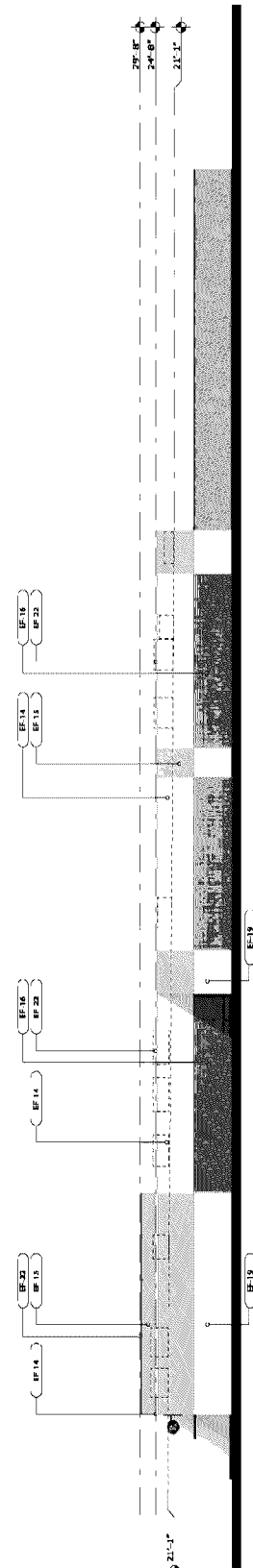
\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
 \*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*



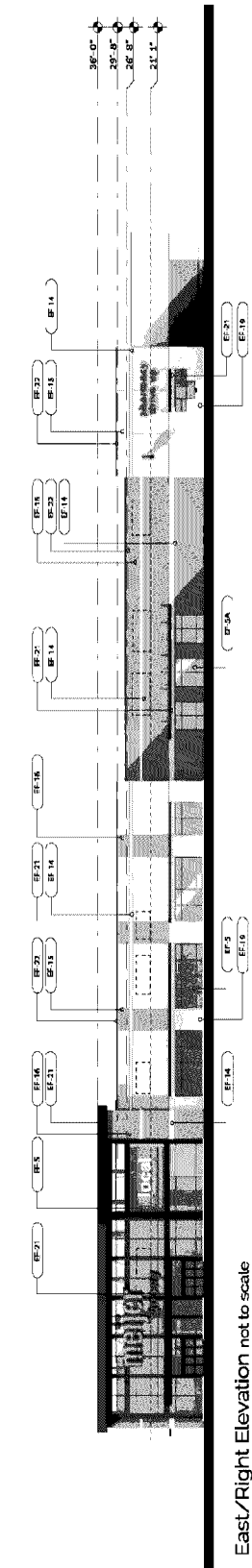
South/Front Elevation not to scale



West/Left Elevation not to scale



North/Rear Elevation not to scale



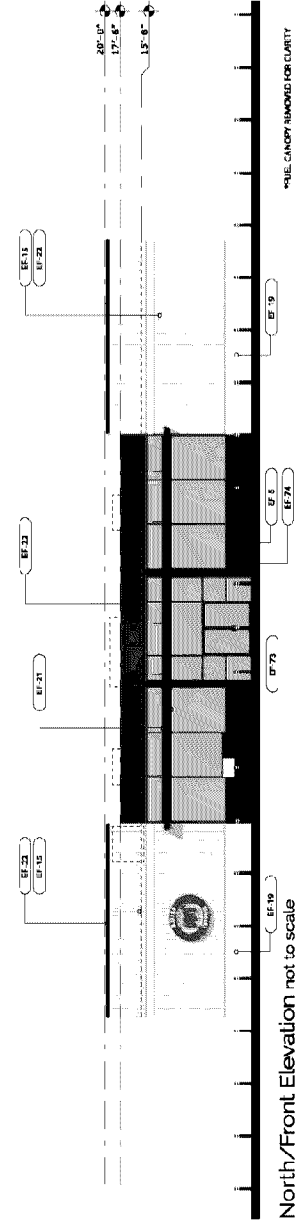
East/Right Elevation not to scale

CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND CORNER FRAMES INSULATED ALUMINUM GLASS GRAY SIBBS	—	DARK BROWN AND RED ALUMINUM
EF-8	SECTIONAL OVERHEAD DOORS	—	WHITE
EF-14	INSULATED PRECAST CONCRETE WALL - PARTIALLY FINISHED VERTICAL LINE AND VERTICAL STANDING SEAMS	REGOL FORMLINER 275 KOC-HER	SW 7038 TONY TAURE
EF-15	INSULATED PRECAST CONCRETE WALL - VERTICAL LINE AND VERTICAL STANDING SEAMS	REGOL FORMLINER 275 KOC-HER	SW 7038 TONY TAURE
EF-17	INSULATED PRECAST CONCRETE WALL	AB FORMLINER BIES #410	SW 7006 GRIFFIN
EF-19	INSULATED PRECAST CONCRETE WALL	AP FORMLINER MODULAR BRICK VELOUR F.07A	SW 7042 SPODI WHITE
EF-20	BRICK, IMPRINTED	—	—
EF-21	CANOPY FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PKC CLAD	DARK BRONZE DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PKC CLAD	DARK BRONZE
EF-23	FIELD PAINTED STEEL BELOW METAL DOORS FLASHING AND DOWNSPOUTS	SHERWIN WILLIAMS	SW 7042 SPODI WHITE
EF-32	SHEET METAL FLASHING AND TRIM - COPINGS, GUTTERS AND DOWNSPOUTS	PKC CLAD	SW 7006 GRIFFIN
EF-40	FUEL ISLAND CANOPY COLLUMNS	SHERWIN WILLIAMS	SW 6510 LOVAL BLUE
EF-71	FUEL ISLAND CANOPY GRAPHIC FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY GRAPHIC FILM	ALPOLIC	SUGGREY
EF-74	FIELD PAINTED METAL SECTION METAL PANEL	SHERWIN WILLIAMS ALPOLIC	TO MATCH TO MATCH
EF-801	EXTERIOR INSULATED FINISH SYSTEM	—	'DARK BRONZE' SW 7006 GRIFFIN

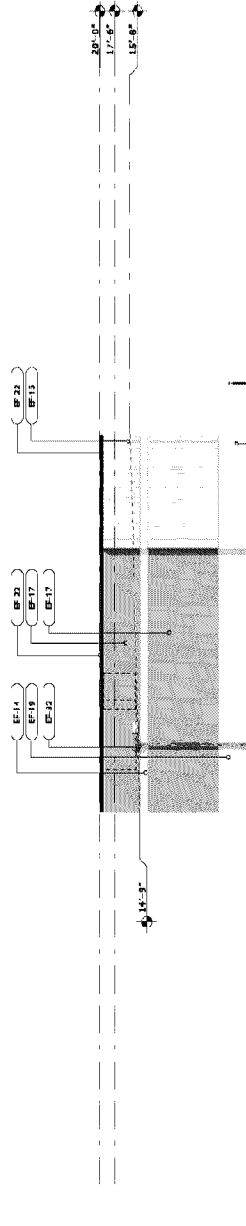
\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
\*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*

# EXHIBIT D

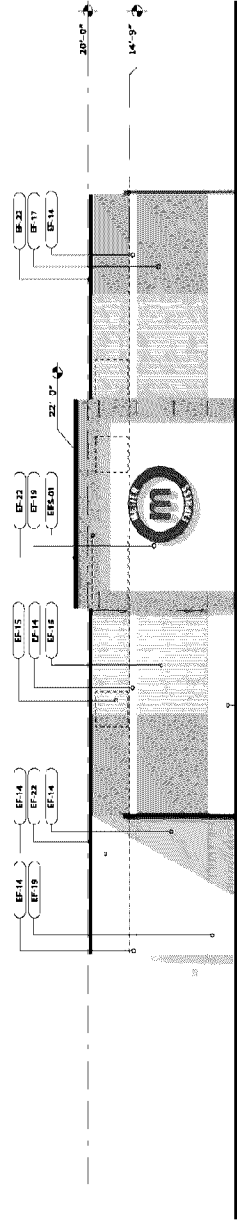
\*ROOF LINE SHOWN DASHED\*



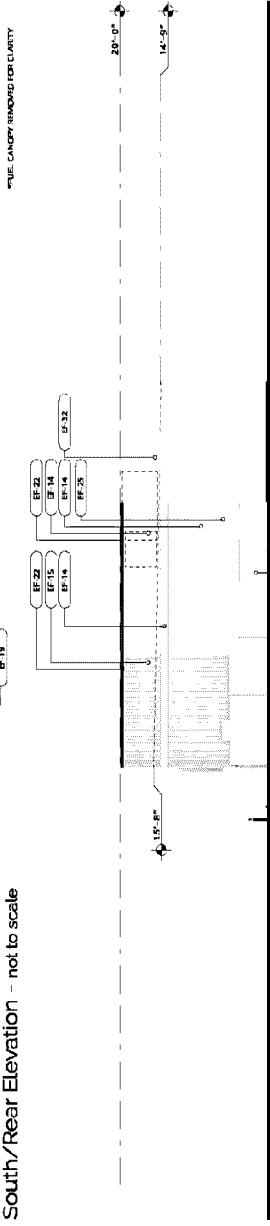
North/Front Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation - not to scale



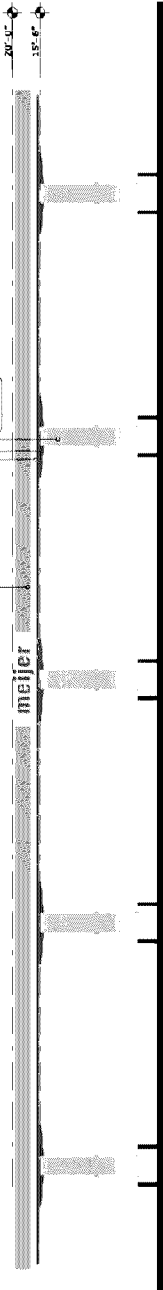
West/Right Elevation not to scale



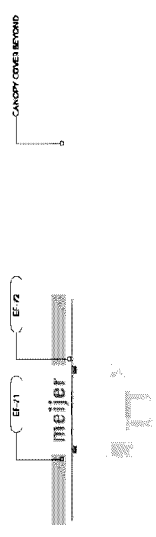
**Meijer** mExpress Building & Canopy Elevations

13800 N. INDIANA

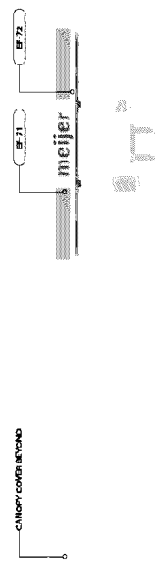
RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
BF-40	FUEL ISLAND CANOPY STRUCTURE	SHERWIN WILLIAMS	SW 6510 LOYAL BLUE
BF-71	FUEL ISLAND CANOPY PANEL	SHERWIN WILLIAMS	SW 6510 LOYAL BLUE
BF-72	FUEL ISLAND CANOPY PANEL	ALCOIC	SKYDOL 455K
BR-01	FUEL ISLAND COLUMN FINISH	TRIN BRICK	TO MATCH SW 0042 SPECIAL WHITE



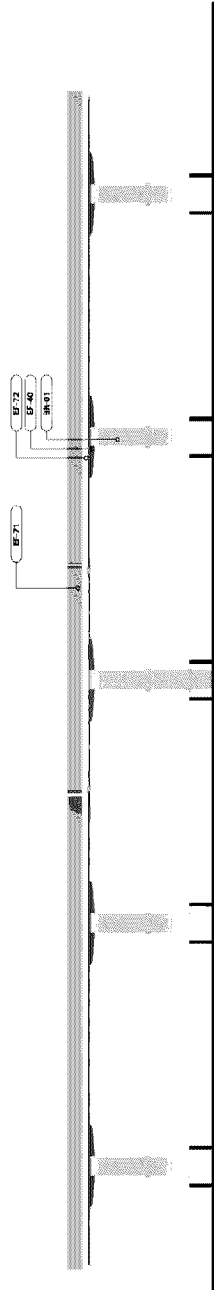
North/Front Elevation not to scale



West/Right Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation not to scale

# EXHIBIT D-1



**City Council  
Staff Report**

Meeting Date: September 9, 2024

**DEPARTMENT CONTACT:**

Gabrielle Herin ([hering@fishers.in.us](mailto:hering@fishers.in.us))

**CASE NUMBER:**

TA-24-3

**PETITIONER:**

Abby Jacobs ([abby.jacobs@woolpert.com](mailto:abby.jacobs@woolpert.com))  
Tim Ochs ([timothy.ochs@icemiller.com](mailto:timothy.ochs@icemiller.com))

**PROPERTY ADDRESS/LOCATION:**

Generally located near the northwest intersection of Southeastern Parkway and N. Cyntheanne Road

**REQUEST:** Consideration of a text amendment to the Fall Creek Marketplace PUD Ordinance #050106A to allow updates to the concept plan and the land use and development standards, generally located near the intersection of Southeastern Parkway and N. Cyntheanne Road. (TA-24-3)

<p><b>APPLICABLE REGULATIONS:</b> Fall Creek Marketplace PUD</p>	<p><b>EXISTING ZONING:</b> PUDC (Fall Creek Marketplace PUD)</p>	<p><b>FISHERS 2040:</b> Neighborhood Mixed Use</p>
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**Lot Size:** 21.66 Acres

**LOCATION MAP**



**STAFF RECOMMENDATION**

- Favorable Recommendation     
  Unfavorable Recommendation     
  No Recommendation

## ZONING OVERVIEW

The property is currently zoned PUDC under the Fall Creek Marketplace PUD Ordinance #050106A).

North: R2 - Residential (School)

South: PUDR, Whelchel Springs (Single Family Residential)

East: R2 - Residential (School, Park)

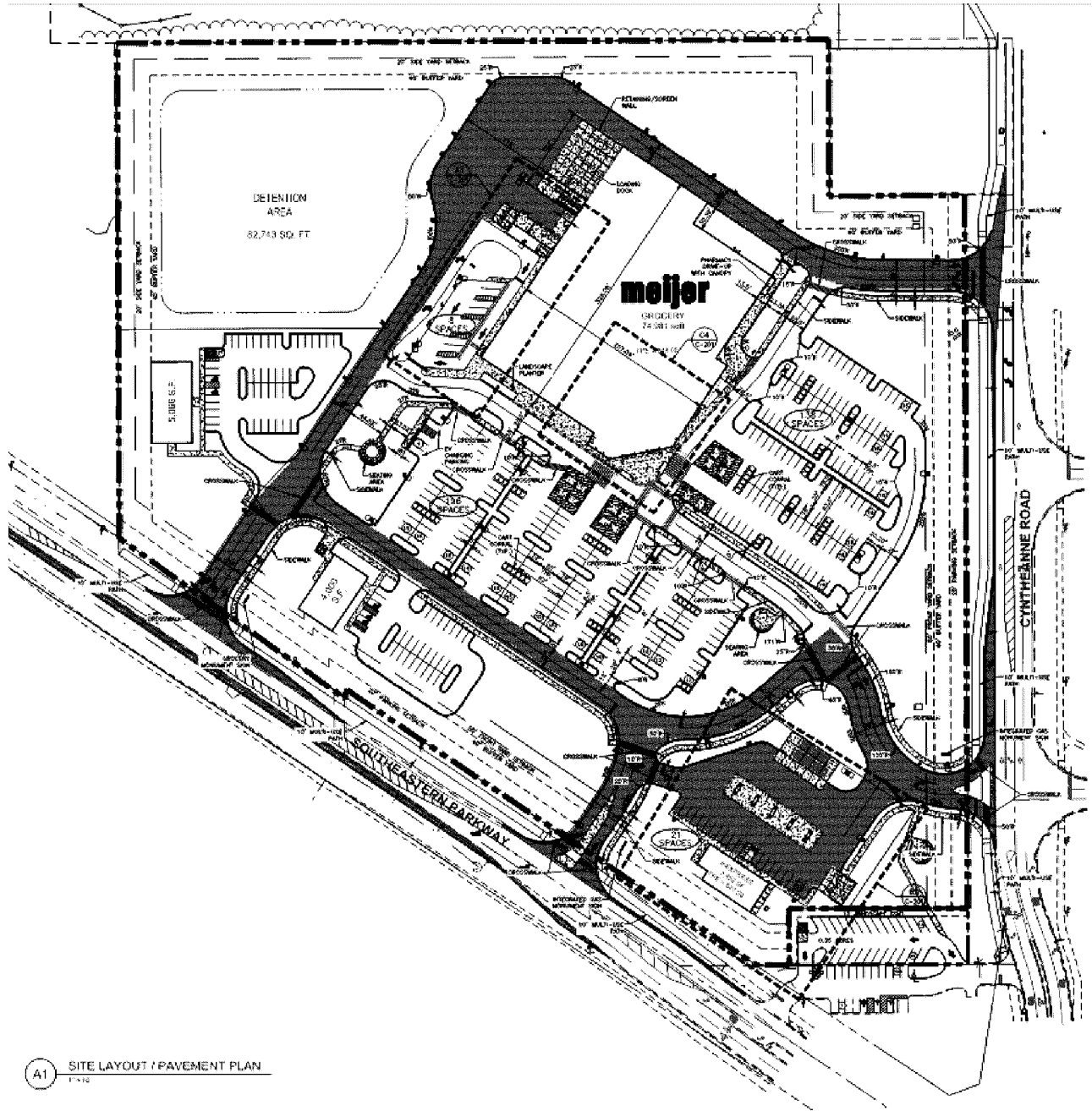
West: R2 - Residential (Single Family Residential)



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## PETITION OVERVIEW

The petitioner is requesting to amend the Fall Creek Marketplace PUD to allow updates to the concept plan and the land use and development standards including up to an 80,000 square feet grocery store, a reduction to two commercial out lots, and to maintain a single vehicle fuel sales and a convenience store. These uses and standard changes would apply only to the properties at the northwest corner of Southeastern Parkway and Cyntheanne Road. This text amendment will also approve the concept plan and proposed elevations of the grocery store, vehicle fuel sales, and convenience store. Out lots would be required to come before PUD Committee in the future for architectural approval.

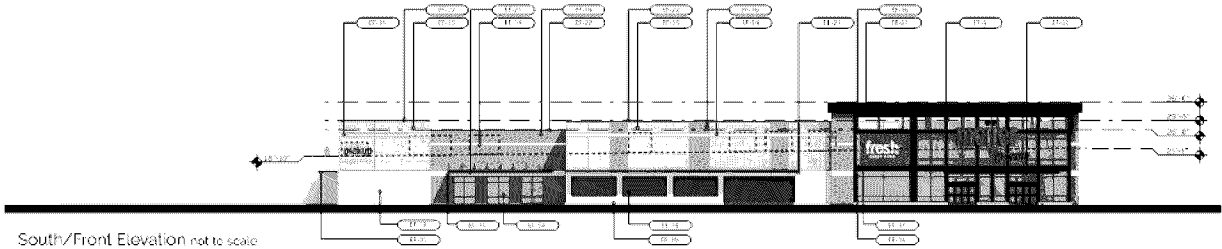


*Proposed Concept Plan. This concept plan will not dictate right-of-way access as all access points must be approved by the Board of Public Works & Safety.*

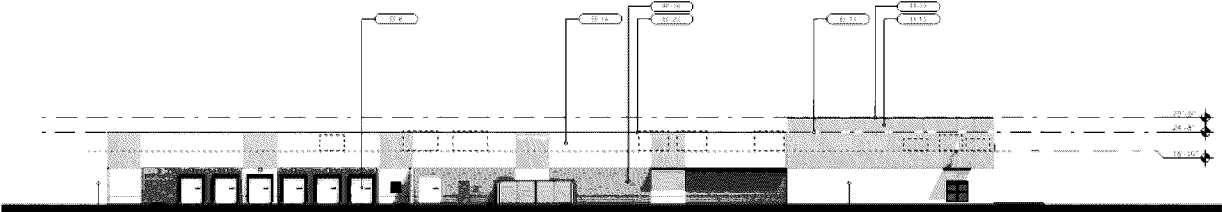


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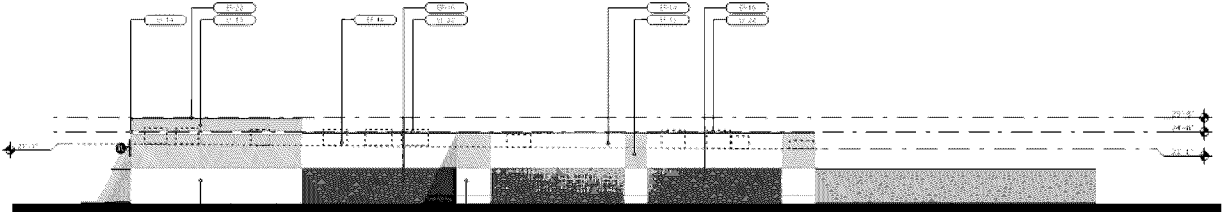
**Meijer Elevations:**



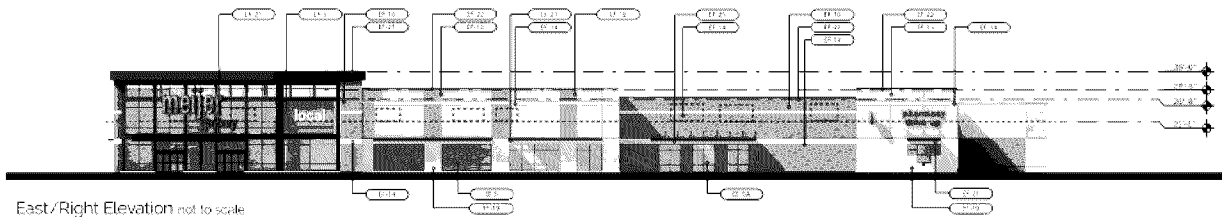
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West/Left Elevation not to scale



North/Rear Elevation not to scale

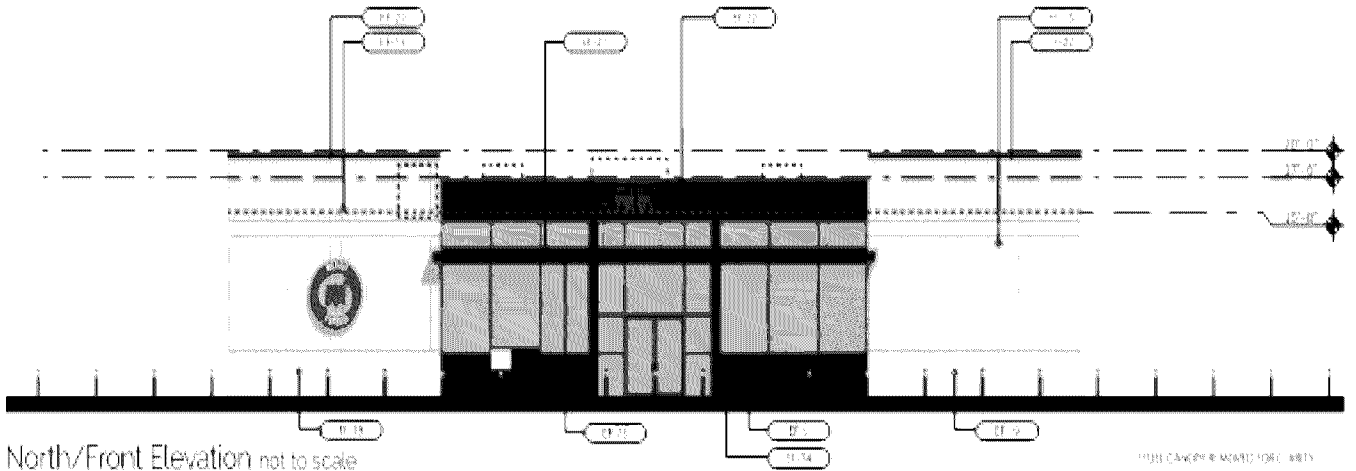


East/Right Elevation not to scale

TA-24-3

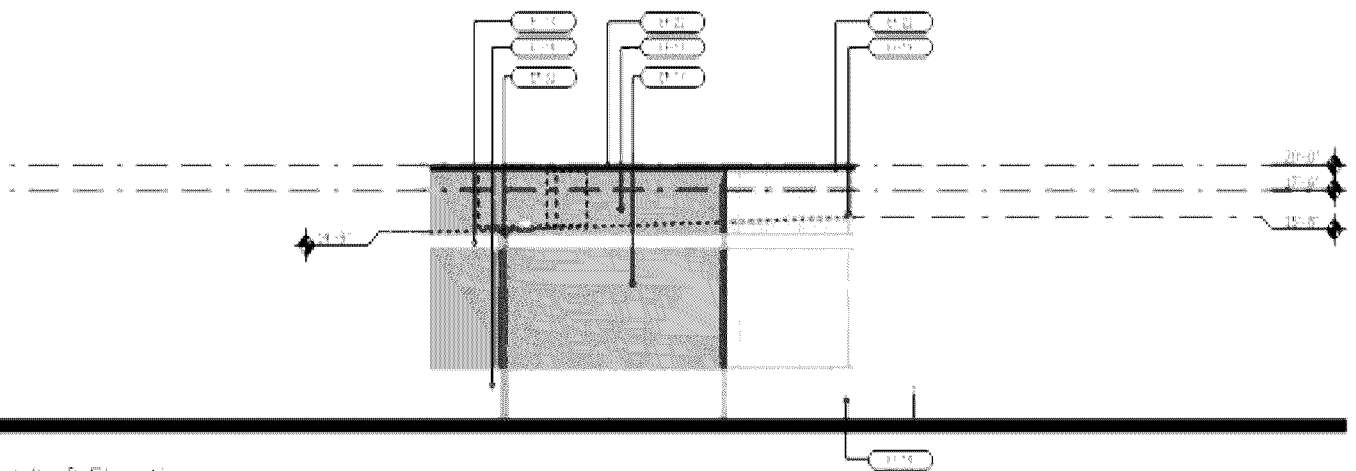
September 9, 2024

**mExpress Building Elevations:**



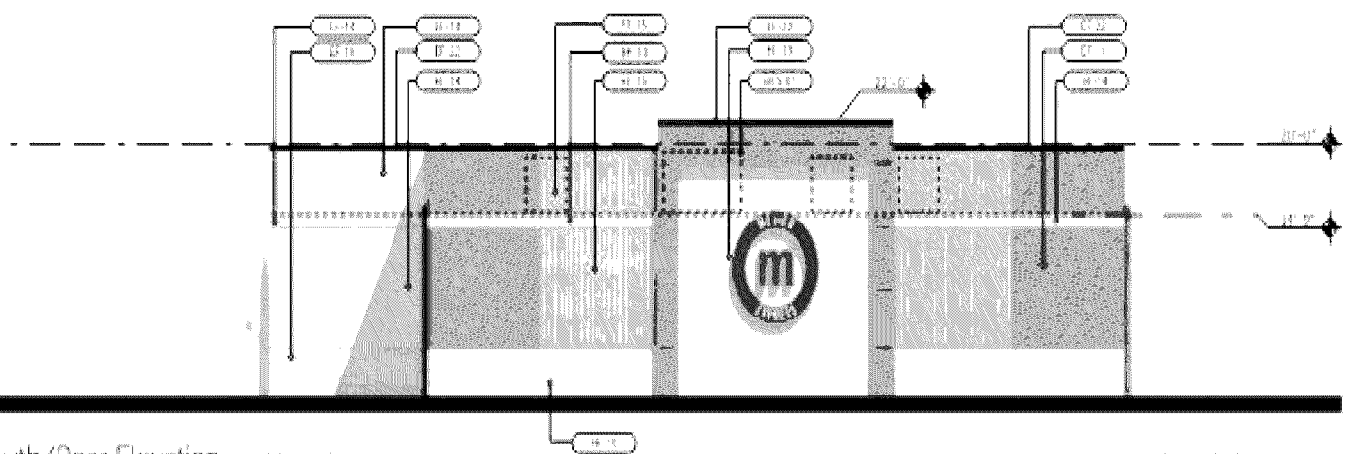
North/Front Elevation not to scale

1000 CANOPY & MOUNT (08).dwg



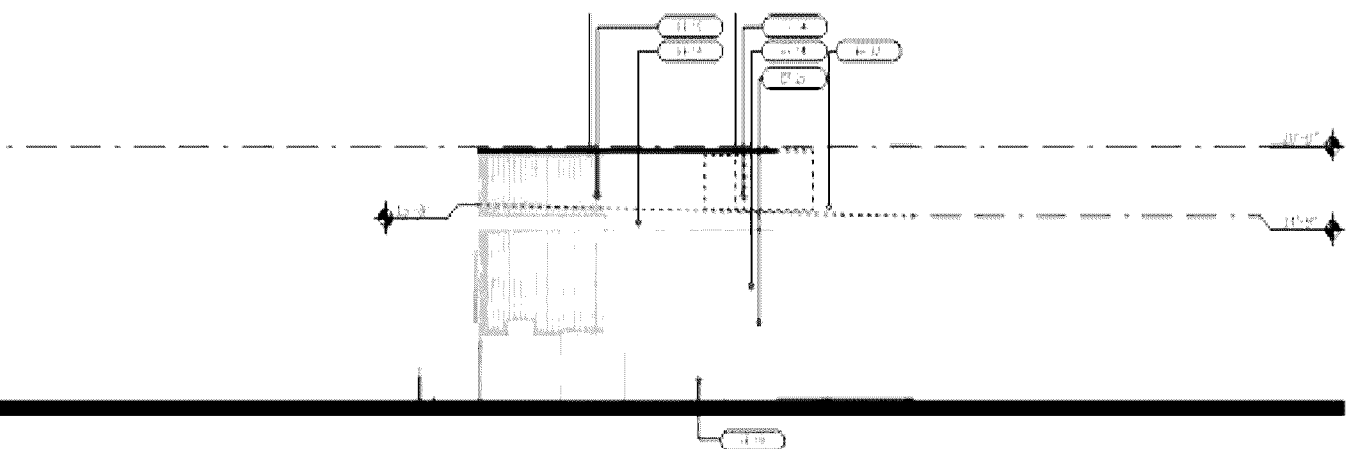
East/Left Elevation not to scale

1000 CANOPY & MOUNT (08).dwg



South/Rear Elevation - not to scale

1000 CANOPY & MOUNT (08).dwg



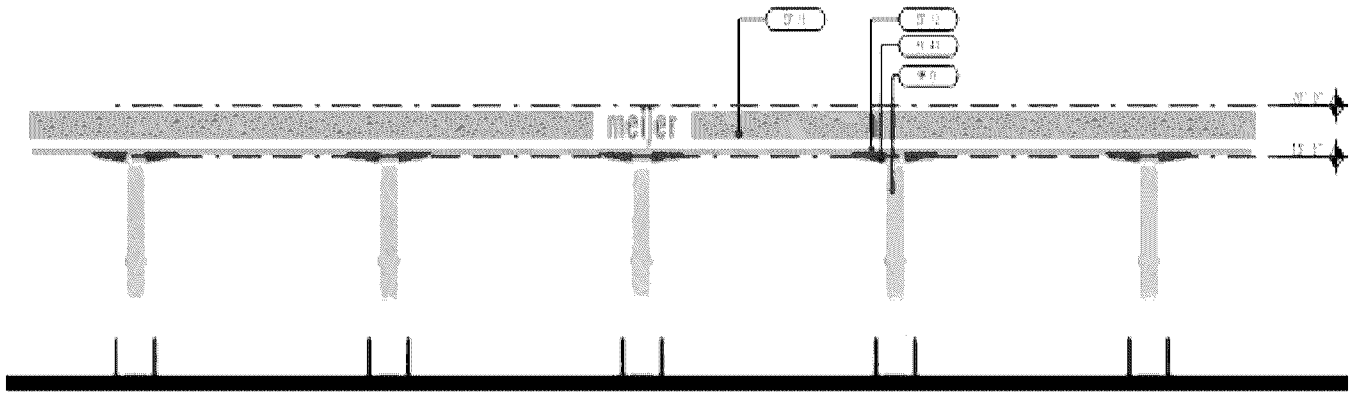
West/Right Elevation not to scale

1000 CANOPY & MOUNT (08).dwg

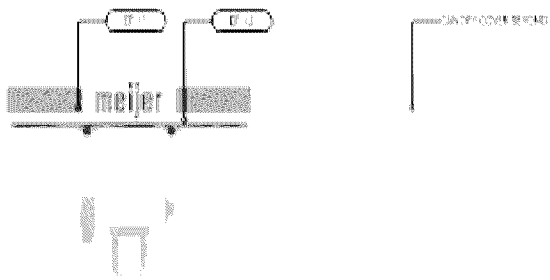
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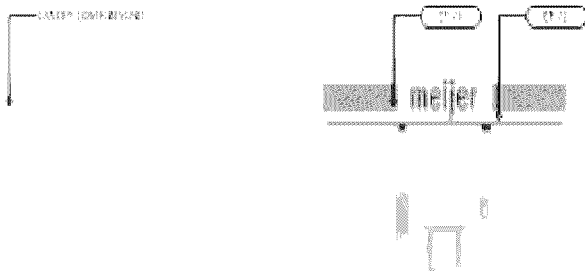
**mExpress Canopy Elevations:**



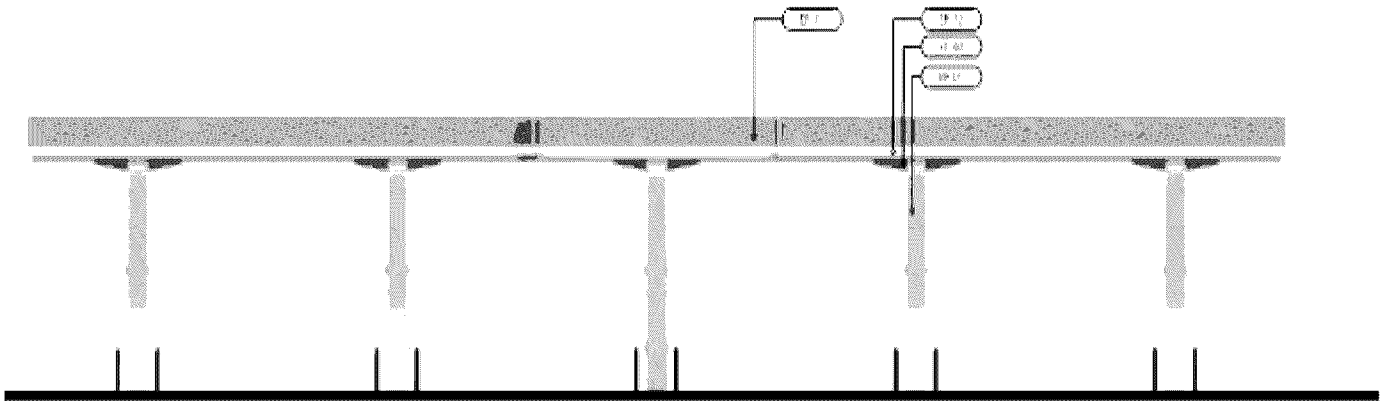
North/Front Elevation not to scale



West/Right Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation not to scale

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*Aerial perspective from the intersection of Southeastern Parkway and Cyntheanne Road*



*Aerial perspective from Southeastern Parkway*



*Entry perspective*



*Receiving dock perspective*

**Proposed PUD Changes**

Below is a table summarizing the primary proposed changes to the Fall Creek Marketplace PUD (Ordinance # 050106A). The existing language is compared to the proposed.

<b>Fall Creek Marketplace PUD Ord. No. 050106A</b>	<b>Fall Creek Marketplace PUD Text Amendment</b>
<b>Anchor Store</b>	<b>Anchor Store</b>
No Single Occupancy may exceed 65,000 gross square feet for an anchor tenant	No Single Occupancy may exceed 80,000 gross square feet for an anchor tenant
Provided the anchor tenant has a minimum of two (2) separate and distinct customer entrances across the front of the building	<del>Provided the anchor tenant has a minimum of two (2) separate and distinct customer entrances across the front of the building</del>
N/A	Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license
Buildings are restricted to thirty-five feet (35')	Buildings are restricted to thirty-six feet (36')
<b>Landscaping</b>	<b>Landscaping</b>
N/A	The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) trees and fifteen (15) shrubs per one hundred (100) lineal feet. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.
N/A	All new plantings are to be native
N/A	Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan
<b>Architecture</b>	<b>Architecture</b>
(3) Three or more roof slope planes." AND "No more than fifty percent (50%) of the roof shall be flat unless the roof has an architectural addition	<del>(3) Three or more roof slope planes." AND "No more than fifty percent (50%) of the roof shall be flat unless the roof has an architectural addition</del>
Gasoline service station canopies shall have pitched roofs	Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height and gasoline service canopies shall have masonry support pillars to support the gas station canopy

Exterior building materials included examples such as brick, limestone, other native stone and tinted/textured concrete masonry units	Added that exterior building materials may be precast concrete materials with brick stone or masonry surface appearance
Exterior building materials shall not include smooth-faced concrete block, tilt up concrete panels or prefabricated steel panels	Exterior building materials shall not include smooth-faced concrete block, <del>tilt up concrete panels</del> or prefabricated steel panels
Peaked roof forms	Varied roof forms
<b>Trash</b>	<b>Trash</b>
Trash removal, compaction, service vehicles, deliveries, parking lot sweepers, etc. shall not be permitted between the hours of 12:00 midnight and 6:00 a.m. with the exception of snow removal	<del>"Trash removal, compaction, service vehicles, deliveries, parking lot sweepers, etc. shall not be permitted between the hours of 12:00 midnight and 6:00 a.m. with the exception of snow removal"</del>
<b>Out Lots</b>	<b>Out Lots</b>
N/A	Out lot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.
Limited to C1 and C2 Uses	Limited to C2 Uses as follows: Child Care Center, Medical, Medical Clinic, Office, Personal Services (Beauty/Hair Salon, Optometrist only), Restaurant (Eating Establishment only)
<b>Parking / Driveway</b>	<b>Parking / Driveway</b>
N/A	"1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO. 2) "Terminal planting beds may be eliminated adjacent to ADA accessible spaces. 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
<b>Signage</b>	<b>Signage</b>
All wall signage shall be reverse channel letter neon or externally lit individual letter signs. All other signage requirements shall be in conformance with the Fishers Sign Code	<del>All wall signage shall be reverse channel letter neon or externally lit individual letter signs. All other signage requirements shall be in conformance with the Fishers Sign Code.</del>
N/A	A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign



	lighting and color modifications may be addressed as a part of this package. The fuel pricing portion of the gas station sign may utilize digital changeable copy.
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**Fishers 2040:**

The Fishers 2040 plan lists the future land use as Neighborhood Mixed Use.





**SUMMARY OF NEIGHBORHOOD MEETINGS AND PUBLIC COMMENTS:**

Two neighborhood meetings were held by the petitioner for the project.

- June 12 at 7 PM, Brooks School Elementary School (All Neighborhood Meeting)
- June 13 at 7 PM, Britton Falls Villa (Exclusively for Britton Falls residents)

Staff received approximately 90 comments from the public as of July 25. There are summarized and attached.

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**STAFF RECOMMENDATION:**

Staff had no recommendation to Plan Commission for this request to amend the Fall Creek Marketplace PUD to allow updates to the concept plan and the land use and development standards including up to an 80,000 square foot grocery store, a reduction to two commercial out lots, and to maintain a single vehicle fuel sales and a convenience store.

When making their decision, Plan Commission shall be reasonable regard to:

1. The Comprehensive Plan;
2. Current conditions and the character of structures and uses in each zoning district;
3. The most desirable use for which the land in each zoning district is adapted;
4. The conservation of property values throughout the jurisdiction; and
5. Responsible development and growth.

Staff had no recommendation for Plan Commission. If approved by the Plan Commission, staff recommended the following conditions:

1. Buffer Yards Standards (Large), including along Southeastern Parkway and Cyntheanne Road meet City's standard of 6 canopy trees, 5 evergreens and 15 shrubs per 100 feet.
2. The proposed concept plan and architecture be approved by the PUD Committee.

Plan Commission sends a favorable recommendation (7-0) to Council.

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**STAFF RECOMMENDATION**

Favorable Recommendation       Unfavorable Recommendation       No Recommendation

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**Exhibit A**

Below is a summary of public comments received by residents in nearby neighborhoods. The comments have been divided by overall tone of positive or negative. The number adjacent to the comment represents the number of times the comment was mentioned.

**Meijer Grocery Public Comments - Positive**

- Need/want grocery store close by – 17
- Convenient – 11
- Too far to grocery store now – 9
- Traffic issues stem from new housing developments, not Meijer Grocery – 6
- Want more choices in grocery stores – 6
- Kroger on Olio Rd not convenient with traffic/dangerous – 4
- Grocery store has good prices/service/quality – 3
- Meijer is close by – 3
- Excited for Meijer – 2
- Asset/Amenity – 2
- Only food store – 2
- More than 300 Britton Falls residents came to neighborhood meeting and most are in favor – 2
- Too many homeowners nearby who need grocery store – 2
- Need gas station close by – 2
- Northeast Fishers needs more grocery stores – 2
- Survey of residents showed 75% support, may be more since only 25% of homes responded – 2
- Top tier gas – 2
- Saves on gas for nearby residents – 2
- Can walk/ride bike to grocery store with Meijer – 2
- Saves the environment – 2
- 6 miles to closest grocery and gas station
- Helpful pick-up and delivery options
- Would like an EV charging station
- # of cars reduced in nearby roundabouts and roads
- Perfect location
- Can avoid school traffic by not going to grocery store then
- Company has good, quality products
- Good size grocery store
- Few resources to support housing
- Restores balance between commercial and residential
- No concern with its proximity to schools

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- Neighborhood of over 1200 homes to the east and south of Britton Falls may support it as well
- Traffic will not affect Britton Falls as Meijer is not directly across from community
- Meijer execs answered all questions
- Convenient to have drive thru pharmacy
- Kroger too crowded/shelves empty
- Will be more traffic regardless of use
- Available roads and stores too crowded
- Original plans always had grocery store at corner of Cyntheanne and Southeastern 1
- Would rather a commercial use that will benefit many
- Southeastern Pkwy can handle more traffic than 136<sup>th</sup> Street
- Grocery store closer will eliminate current traffic on Olio
- Only 38% of residents oppose Meijer
- Need another pharmacy
- Traffic reduction
- Provides new jobs and opportunities
- Increased traffic and close proximity to schools can be mitigated
- Other grocery stores are near schools
- Proximity issues resolved in Fishers
- Traffic study completed showing good access to Meijer
- Deliveries do not require use of roundabout
- Supports use if concerns on traffic along Southeastern Parkway and Cyntheanne Road can be addressed
- Will benefit Britton Falls and nearby communities

#### **Meijer Grocery Public Comments - Negative**

- Increased traffic – 25
- Not residential in nature/does not fit character of area/not suitable for location – 20
- Safety – 17
- Need new schools/School should be located there - 11
- Move closer to 69 – 10
- Other grocery stores/gas stations nearby – 10
- Reduction in home values – 10
- Current infrastructure inadequate – 9
- Will ruin Schoolhouse – 8
- Intrusive lighting – 7
- Overcrowded schools – 7
- Impacts to the adjacent School-general – 5
- Reduction in standard of living – 5
- Truck traffic – 5
- Noise – 4
- Higher crime/strain on emergency responders – 4

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- Overdeveloped Area – 3
- Move near Culvers – 3
- Road deterioration/more maintenance – 3
- Reduces area's peace – 3
- Concerns over Schoolhouse 7 – 2
- People speed through area/neighborhood (Whelchel Springs) – 2
- Unsightly View – 2
- Move closer to other businesses – 2
- Wants daycare – 2
- Local grocery store with smaller footprint – 2
- Meijer not needed – 2
- Build it elsewhere – 2
- Concerned about alcohol sales – 2
- Concerned about truck and delivery traffic hours – 2
- Reduce number of trips to grocery store – 2
- People cut through neighborhood to get to Southeastern
- Rather have restaurants w/ playground
- No positive comments on street in Whelchel Springs
- Reduces beauty
- Eye sore
- Move to place that can handle traffic with right infrastructure
- Roundabouts do not slow traffic
- Precedent Setting
- No communication via mail
- Fishers financial benefit?
- No one wants the grocery store
- Original footprint of planned grocery store (65,000 sq ft) better
- Will be used by Fortville and Pendleton residents
- Wrong use of tax dollars
- Wants smaller business center
- No discussion of elevations in neighborhood meeting
- Concerned about headlight glare directed at homes
- Concerned about number of parking spots
- Will be no more fertile land
- Fishers' park like area will be replaced by retail desert
- Visited Meijer Grocery in Noblesville
  - Concerned with width of roads/traffic lights near Meijer
  - Concerned with differences between nearby uses of Noblesville and Fishers Meijer Grocery
  - Towers over desert like Parking lot, which is huge and ugly
  - Not very much landscaping, except those on CVS property

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- Concerned existing trees will be removed and that there is not enough landscaping
- Concerned with site plan
- Presentation lacked information and actual photos from existing Neighborhood markets in neighborhood meeting. Additionally lacked pictures of nearby schools, businesses and homes
- Too many taxes
- Safety, not increased traffic and pollution
- Concerned with gas station hours of operation
- Concerned about possible store expansion
- Concerned with double the parking at C-store
- Concerned about the uses of the two outlots
- Concerned there is room for future additional outlots
- Would like an 8 feet landscaping berm with three layers of bushes and large trees
- Would like a visual sound barrier along Southeastern
- Would like more parks recreation and place to enjoy family time and education
- Concerned about the accuracy of the traffic study
- Concerned about number of retail entrances/exits along SE Parkway and Cyntheanne
- Kroger on Olio is easy to get to from Britton Falls
- Would like road improvements first
- Air pollution and trash
- Stop destroying land and trees remaining
- No full service pharmacy
- No pet supplies/pet food area
- Concerned that Cyntheanne Rd will not be widened
- Wants more housing instead
- Will impact quiet neighborhood
- Concerned there will be requests to rezone outlots
- Concerned there will be a 24 hour grocery store and convenience store
- Too many gas stations, need for gas is decreasing
- Would like area dedicated to parks and recreation with EV stations
- Will additional stop lights be needed
- Will increased police traffic control coverage be needed when school starts/ends
- Will Fishers need additional funds to build another fire station
- Will Fishers have to contribute funds to widen roads to four lanes plus a fifth turn lane on Southeastern and Cyntheanne in all directions.
- Will Fishers have to install raised cross walks for pedestrians like on 126th street.
- How will we insure the safety of our 2000 school students (across and up the street from Meijer). There will be a percentage crossing the street to go to the Meijer complex. There are no pedestrian cross walks in the proposal. The current cross walks at the traffic circle are too dangerous to cross four lanes. The raised landscaping blocks partial traffic visibility for pedestrian visibility.

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- Has Meijer contacted adjacent owners for possible future expansion



July 31, 2024

Ross Byers  
Meijer

Mr. Byers,

Per your request, I have reviewed again the driveway access points with A&F Engineering at the Meijer located at the intersection of Cyntheanne Road and Southeastern Parkway. The following conclusions and recommendations are based on the operational characteristics of the access points along with the data provided by Woolpert Consultants in their Traffic Study.

*Cyntheanne Road, North Site Driveway #4* – After a review of this access point, full turning movement access will be allowed with appropriate auxiliary lanes.

*Cyntheanne Road, South Site Driveway #3* – As proposed, this driveway is to be right-out-only access. The median for the roundabout shall be extended north past the opening of the right-out-only access point. The purpose will be to ensure the school access remains a full-movement access and will eliminate vehicles traveling north to make a U-turn to access Site Driveway #3. This will improve the operational characteristics of the access point and ensure safe and efficient movement for both the school and Meijer access points.

*Southeastern Parkway, Site Driveway #2* – The purpose of the right-in-only access is to ensure safe and efficient movement into the site. The west access point, Site Driveway #1, can manage the vehicles entering and exiting the site as presently proposed and right-in-only is preferred. However, if a right-in / right-out access is requested, the continuous right turn lane (which will function as an acceleration / deceleration lane for Site Driveway #1 and Site Driveway #2) shall be required. In addition, in order to make Site Driveway #2 right-in / right-out-only, the continuous median along Southeastern Parkway shall be installed, and therefore, no left-turn will be allowed.

*Southeastern Parkway, Site Driveway #1* – As currently planned, this access point shall be limited to a right-in / right-out / left-in-only access. The left-out movement is eliminated for operational purposes of the intersection. The Level of Service Analysis performed by Woolpert Consultants has shown that the Southbound left performs at a very low level of service. Therefore, the left-turn out at this driveway has been eliminated. The internal roadways and access points provide good access to allow internal trips to maneuver to the access points along Cyntheanne Road to safely exit the site.

These recommendations have been made based on operational characteristics of the access points, the proximity of the school drives, and the fact that as proposed, they will perform at an acceptable Level of Service for vehicles to enter and exit the sites.

If you have any questions, please contact me.

Hatem Mekky, P.E., MSCE

# Response to Meijer Grocery FSR – TA-24-3 Resubmittal Comments

**To:** City of Fishers Planning and Zoning Department

**From:** Abby Jacobs, PE, LEED AP

**Date:** July 26, 2024

This response is to the review comments received from the City of Fishers Planning and Zoning Department on 5/30/2024.

## Text Amendment

1. Impact fees will be assessed as part of the Improvement Location Permit (ILP).

**Woolpert Response: Noted.**

2. **ADA Parking:** Per UDO Sec 6.11.3.A.1, only concrete shall be utilized for ADA-accessible parking spaces and access aisles. Please update plans to comply with this standard.

**Woolpert Response: The site plan has been updated to indicate concrete pavement within ADA parking spaces and access aisles.**

3. **Landscaping:**

- a. Planting Species: Please ensure all plantings are native and approved species according to the City of Fishers 2021 Planting Guide.
- b. Please see attached landscaping plan showing additional comments.

**Woolpert Response:**

- a. Proposed tree and shrub species are included on the City of Fishers 2021 Planting Guide in accordance with Article 6.7 of the UDO. Perennial and ornamental grasses that are proposed within Meijer planter areas are supplemental and are not intended to count toward landscaping requirements.
- b. A revised landscape plan is provided as part of this resubmittal package.

4. **Open Space Requirement:** Please explain how you are meeting the minimum open space requirement of 15% per UDO Section 6.9.

**Woolpert Response: The required open space area for this site is 140,000 SF. An exhibit is provided with this submittal that highlights the active open space areas on the site that total approximately 145,000 SF.**



## ORDINANCE NO. 052024B

AN ORDINANCE OF THE COMMON COUNCIL OF THE CITY OF FISHERS, HAMILTON COUNTY, INDIANA, AMENDING THE TEXT OF THE OF THE FALL CREEK MARKET PUD ORDINANCE, ORIGINALLY ADOPTED ON OCTOBER 2, 2006, AS ORDINANCE NO. 050106A, AS FOLLOWS:

### SECTION 1. DECLARATION

That the text of the Fall Creek Market PUD, originally adopted on October 2, 2006, as Ordinance No. 050106A, which is part of the Unified Development Ordinance of the City of Fishers, Indiana, Ordinance No. 071618F, as amended (the "UDO"), is hereby amended as provided herein.

That the Zoning Classification of the following described Real Estate is hereby zoned as PUD-C and this ordinance shall hereinafter be referred to as the "Fall Creek Marketplace PUD Ordinance":

SEE "EXHIBIT A & A-1" ATTACHED HERETO.

### SECTION 2. PURPOSE AND INTENT

To create a neighborhood commercial district for property located northwest of the intersection of Southeastern Parkway and Cyntheanne Road through the adoption of development standards including architectural design and material standards to aesthetically enhance the commercial areas to be compatible with the surrounding residential neighborhoods.

### SECTION 3. LAND USE

- A. Grocery Store, which may include bakery, produce, pharmacy, alcohol sales, butcher/meat, floral and similar uses typically found in grocery stores, is permitted provided that no single occupancy may exceed eighty thousand (80,000) gross square feet for an anchor tenant. The 90,000 square foot limitation of the C-2 district shall not apply to the overall Fall Creek Marketplace PUD, provided overall development and individual structures are compliant with the Fall Creek Marketplace PUD concept plan.
- B. The following uses shall be permitted provided that no single occupancy shall exceed 5,000 square feet:
  - 1) Child Care Center
  - 2) Medical
  - 3) Medical Clinic
  - 4) Office
  - 5) Personal Services (Beauty/Hair Salon, Optometrist only)
  - 6) Restaurant (Excluding a bar, tavern, lounge)

- 7) One (1) Vehicle fuel sales/gas station and convenience store
- C. Any adult entertainment uses shall be prohibited.
- D. Package liquor sales shall be prohibited in gas stations/convenience stores or outlots.
- E. Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license.

**SECTION 4. CONCEPTUAL DEVELOPMENT PLAN**

The updated Concept Plan, attached hereto as "Exhibit B", is adopted as part of this ordinance. Adoption of the Concept Plan, however, does not constitute approval of any detailed and final development plans; such further approval is subject to the procedures set out in Section 7, below.

**SECTION 5. DEVELOPMENT STANDARDS**

Except as modified by this Fall Creek Marketplace PUD Ordinance, the development shall comply with the development, landscaping and parking standards of the Zoning Code of the City of Fishers.

**A. Bulk and Density Standards**

1) Building Setbacks

Minimum Front Yard	50'
Minimum Rear Yard	20'
Minimum Side Yard	20'

2) Lot Frontage

- a) Minimum lot frontage may be reduced to 75 feet for one individual outlot. All other lots shall meet the minimum standard of the UDO.

3) Lot Coverage

- a) Lot coverage shall not exceed seventy-five percent (75%) and is inclusive of buildings, parking area and other impervious surfaces, which results in an open space requirement of twenty five percent (25%) of the land area.

4) Building Height

- a) Buildings are restricted to thirty-six feet (36') maximum of two (2) stories (pitched roofs are measured as the mid-point).

- 5) A building on an outlot shall not be larger than 5,000 square feet and shall contain no more than four tenants.

**B. Landscaping**

- 1) The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) canopy trees five (5) evergreen trees and fifteen (15) shrubs per one hundred (100) lineal feet. Existing trees may count towards the requirement. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs

may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.

- 2) All new plantings shall be native.
- 3) Where required, street trees shall be provided at a ratio of one (1) canopy tree per fifty (50 feet). Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan.

#### **4. Architectural Standards**

- 1) All structures within an individual PUD area shall be constructed with similar design, materials and compatible architecture.
- 2) All buildings shall screen all mechanical equipment including that which is mounted to the roof and/or ground.
- 3) The exterior of all buildings adjacent to residentially zoned areas or occupied shall consist of a brick, masonry, stone façade, or stucco or precast concrete materials with brick, stone or masonry surface appearance.
- 4) Facades that have greater than one hundred feet (100') in length, measured horizontally, shall incorporate wall plane projections, recesses, canopy's, or structural screen walls having a depth of at least eight feet (8') and extending at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed one hundred and fifty horizontal feet (150').
- 5) Where large retail structures contain additional, separately owned or leased stores that occupy less than twenty-five thousand (25,000) square feet of gross floor area and have separate, exterior customer entrances, the street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the building facade of such additional stores. Window requirements for the gas service station shall be reduced to forty percent (40%) percent of the horizontal length of the building façade and shall apply only to the primary entrance façade of the gas service station.
- 6) Building facades shall include a repeating pattern that includes no less than three (3) of the following elements:
  - a) Color change;
  - b) Texture change;
  - c) Material module change;
  - d) An expression of architectural or structural bays through a change in plane no less than twelve inches (12") in width, such as an offset, reveal or projecting rib.
- 7) Roof architecture
  - a) Roofs shall have some combination of the following features:
    - (1) All roof areas shall restrict rooftop equipment such as HVAC units from public view by extending the supporting wall or parapet. Such roof features shall contain three-dimensional cornice treatment,
    - (2) Overhanging eaves, extending no less than three feet (3') past the supporting

walls;

- b) Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height. Gasoline service canopies shall have masonry support pillars to support the gas station canopy.
  - c) Office uses, separate retail tenants, single story and buildings of less than fifty thousand (50,000) square feet must have pitched roofs to be more residential in character. Notwithstanding, the permitted gasoline service station and its canopy shall be architecturally consistent with the primary grocery use and may have flat roofs.
  - d) Flat roofs shall have architectural significance, such as different sections of flat roofs so the roof can be given articulation with different heights. The look of the building shall therefore be softened by the feel of the facade.
- 8) Materials and colors.
- a) Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, tinted/textured concrete masonry units or precast concrete materials with brick stone or masonry surface appearance.
  - b) Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The use of high-intensity colors, metallic colors, black or fluorescent colors shall be prohibited.
  - c) Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
  - d) Exterior building materials shall not include smooth-faced concrete block, or prefabricated steel panels.
- 9) Entryways.
- a) Each retail establishment greater than twenty thousand (20,000) square feet shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
    - (1) Canopies or porticos;
    - (2) Overhangs;
    - (3) Recesses/projections;
    - (4) Arcades;
    - (5) Raised corniced parapets over the door;
    - (6) Varied roof forms;
    - (7) Arches;
    - (8) Architectural details such as tile work and moldings which are integrated into the building structure and design;
    - (9) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
  - b) All building facades that are visible from public streets shall comply with the requirements of items (1) through (9).
- 10) Pedestrian circulation
- a) Sidewalks shall be a minimum of five (5) feet in width, however, where applicable, they shall be ten (10) feet in width asphalt in conjunction with the City Parks Plan and to integrate with neighborhoods. Sidewalks shall be provided along all sides

of the lot that abut a public street.

- b) Continuous internal pedestrian walkways, no less than eight feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of each retail building on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds and ground cover.
  - c) Sidewalks, no less than eight feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. In-ground or permanent planter boxes shall be provided in place of foundation planting along the outer edge of the sidewalk where they do not interfere with pedestrian access/connectivity to provide planting façade.
  - d) Internal pedestrian walkways provided in conformance with part b) above shall provide weather protection features such as awnings or arcades within thirty feet (30') of all customer entrances.
  - e) All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.
- 11) Trash receptacles shall not be located closer to the right-of-way than the primary building, except where the property has frontage along two property lines. Gates shall not face residential use properties; such requirement shall not apply to school-owned and used properties which may be zoned residential. Refuse compactor units located within the loading area shall be screened from adjacent properties or right-of-way along the edge of the loading dock area but shall not require gates to completely enclose the unit.
  - 12) Outlot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.

#### D. Parking and Access

- 1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO.
- 2) Terminal planting beds may be eliminated adjacent to ADA accessible spaces.
- 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
- 4) Cart corrals shall be constructed of durable materials but may be moveable to facilitate parking lot clearing and maintenance.

#### E. Signage

- 1) A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign lighting and color modifications may be addressed as a part of this package.
- 2) The fuel pricing portion of the gas station sign may utilize digital changeable copy panels which remains static except for price changes, provided such signage does not exceed 25% of the overall sign, as measured per face.

#### F. Lighting

- 1) Lighting shall be limited to 0.5-foot candles at the property line. This requirement is exempt when adjacent to public right-of-way.
- 2) Light poles shall be limited to thirty feet (30') in height
- 3) Light fixtures may be decorative along the entrance drives and along public rights-of-way approved as part of the overall architecture, but overall site illumination into the atmosphere shall be restricted through the use of full cut-off fixtures.
- 4) Vehicle canopy lighting shall not exceed 40 foot candles in intensity. All lighting shall be recessed within the canopy structure.
- 5) Pedestrian lighting along the building façade may be satisfied through a combination of building and pole mounted lighting as detailed on the final lighting plan.

### **SECTION 6. OTHER REQUIREMENTS**

The Real Estate shall comply with all City Ordinances (e.g., UDO) in effect as of the date of adoption of this Ordinance, as applicable, except as provided or modified by this PUD Ordinance. The underlying zoning district shall be C2 Commercial.

### **SECTION 7. PROCEDURES.**

Improvements on the Real Estate that is the subject of this Fall Creek Marketplace PUD Ordinance may be developed in phases over time. A Development Plan for each building and phase of development shall be submitted to the City's general PUD Committee (the "Committee") for review and approval prior to the issuance of a building permit. Development plans shall be reviewed and approved based upon compliance with the development and design standards set forth herein. The grocery store shall substantially comply with the rendering attached hereto as "Exhibit C", and the fueling center/convenience store shall substantially comply with the rendering attached hereto as "Exhibit D & D-1"; provided, however, that the Committee shall have the discretion and flexibility, upon the request of the petitioner, to consider and approve modifications pertaining to any development and design standard established or referenced by this Fall Creek Marketplace PUD Ordinance if the Committee determines such modifications are consistent with the intent of this Fall Creek Marketplace PUD Ordinance.

## **SECTION 8. APPROVAL**

This ordinance shall be in full force and effect from and after its passage by the City Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.

EXHIBIT "A"

LAND DESCRIPTION  
FALLS CREEK PLANNED DEVELOPMENT

A PART OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 18 NORTH, RANGE 6 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SAID NORTHEAST QUARTER SECTION, WHICH CORNER IS COLLINEAR AND EQUIDISTANT FROM THE NORTHEAST AND SOUTHEAST CORNERS OF SAID QUARTER SECTION;  
THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, BEING A LINE CONNECTING AFORESAID POINT AND THE HARRISON MONUMENT FOUND AT THE WESTERLY QUARTER-CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 89 DEGREES 37 MINUTES 20 SECONDS WEST, A DISTANCE OF 60.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CYNTHIANNE ROAD CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING THE POINT OF BEGINNING;  
THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 792.62 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL DEDICATED PER INSTRUMENT NUMBER 2011044517, BEING A POINT ON THE NORTH LINE OF THE PARCEL PER INSTRUMENT NUMBER 9809816383;  
THENCE ALONG NORTH LINE OF SAID PARCEL PER INSTRUMENT NUMBER 9809816383, SOUTH 89 DEGREES 44 MINUTES 15 SECONDS WEST, A DISTANCE OF 260.45 FEET TO THE MOST EASTERLY CORNER OF RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500030733, NORTH 56 DEGREES 05 MINUTES 26 SECONDS WEST, A DISTANCE OF 609.05 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 61.58 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE WEST LINE OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 11.92 FEET TO THE NORTHEAST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 49.66 FEET FROM THE SOUTHEAST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500015467, NORTH 54 DEGREES 38 MINUTES 47 SECONDS WEST, A DISTANCE OF 340.77 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 59.12 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG A LINE PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 609.50 FEET TO A POINT ON A LINE 990.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31;  
THENCE ALONG SAID LINE, NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST, A DISTANCE OF 875.09 FEET TO THE NORTHWEST CORNER OF THE PARCEL PREVIOUSLY CONVEYED TO G. MELVIN FEATHERSTON PER DEED RECORD 323 PAGE 205;  
THENCE ALONG THE WEST AND SOUTH LINES OF SAID PARCEL, THE FOLLOWING TWO (2) COURSES:  
1) SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST ALONG A LINE PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 192.50 FEET;  
2) NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST ALONG A LINE PARALLEL TO THE NORTH LINE



OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 166.29 FEET TO THE NORTHWEST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, SAID POINT BEING 60.00 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31;

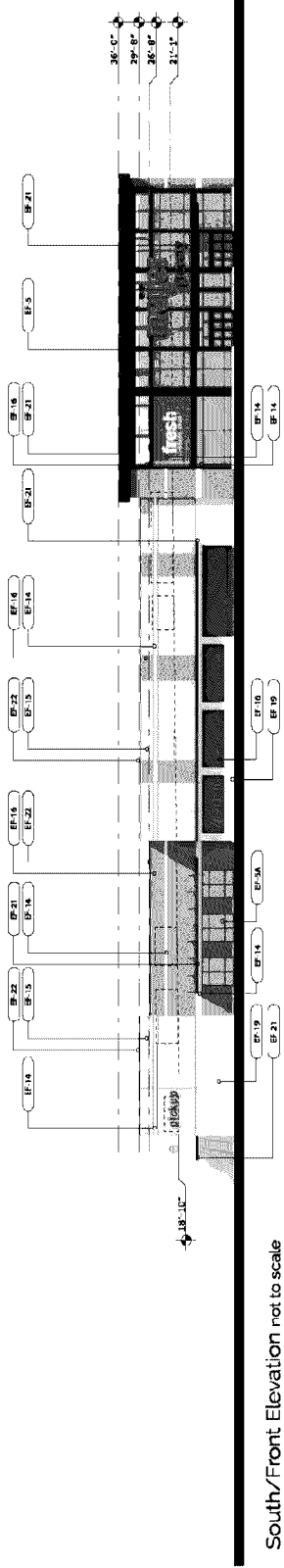
THENCE ALONG THE WEST RIGHT-OF-WAY LINE OF CYNTHEANNE ROAD, CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 153.42 FEET TO THE POINT OF BEGINNING;

CONTAINING 948,278 SQUARE FEET OR 21.769 ACRES, MORE OR LESS.

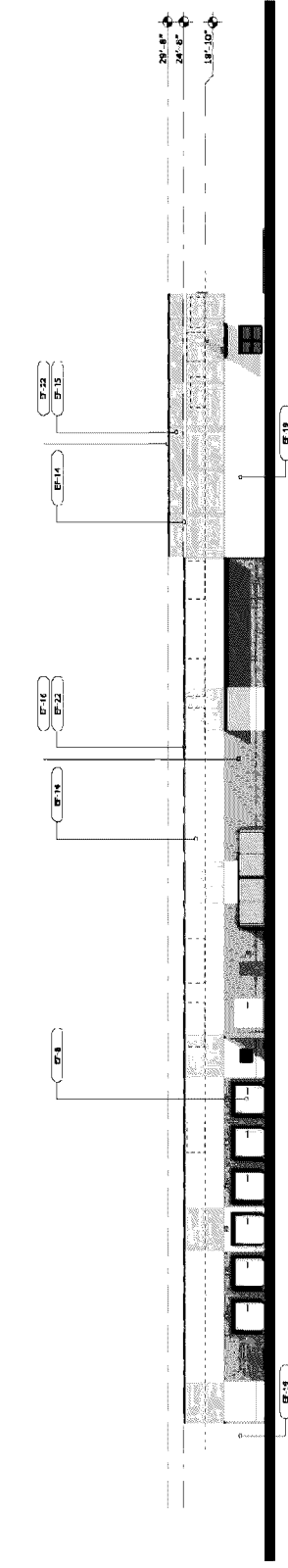
THE BASIS OF BEARINGS REFERENCED HEREON IS THE INDIANA STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83).



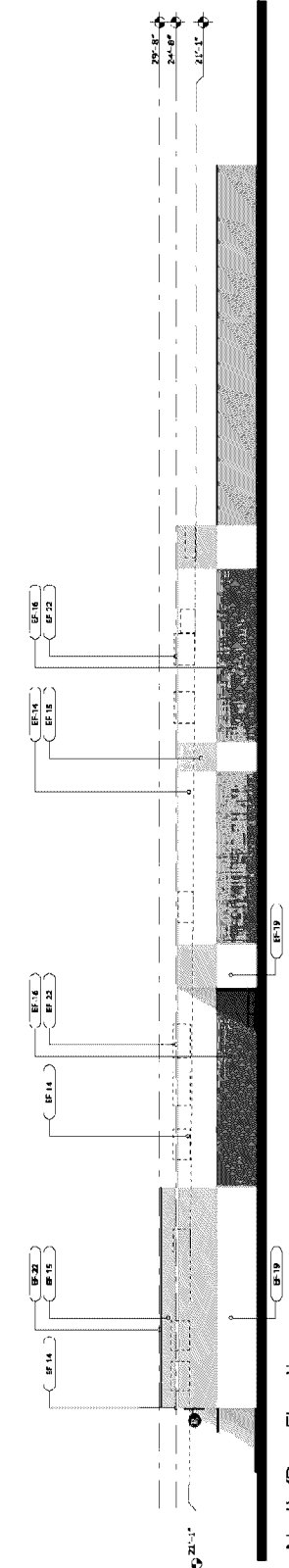




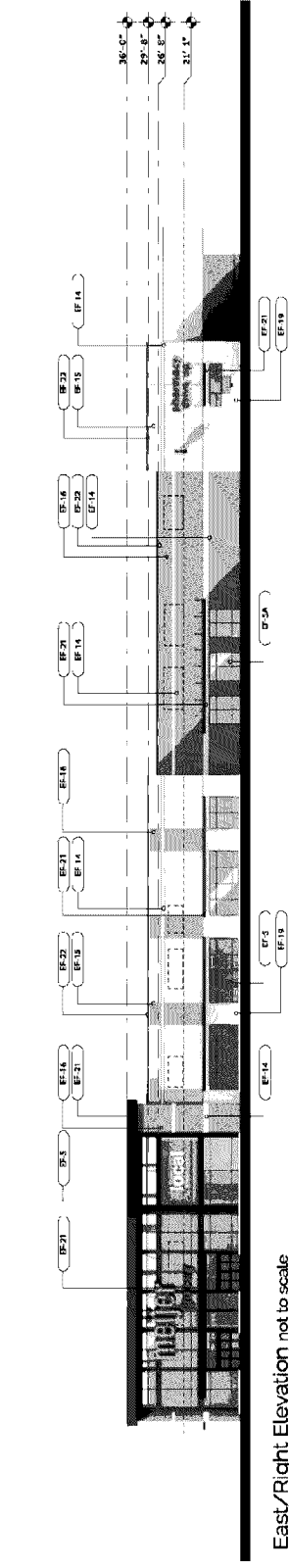
South/Front Elevation not to scale



West/Left Elevation not to scale



North/Rear Elevation not to scale



East/Right Elevation not to scale

CODE	FINISH DESCRIPTION	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES	CRYSTAL GRAY S98	DARK BRONZE ANODIZED ALUMINUM
EF-5A	1" INSULATED SPANDREL PANEL WITH CRYSTAL GRAY S98	—	WARM GRAY
EF-6	SECTIONAL CORRUGATED METAL PANEL	—	WHITE
EF-14	INSULATED PRECAST CONCRETE WALL	—	SW 7555 PATIENCE
EF-15	INSULATED PRECAST CONCRETE WALL	RECALI FORMLINER Z75	SW 734P TONY TAPE
EF-16	VERTICAL LINE/VERTICAL STANDING SEAMS	MODIER	—
EF-19	INSULATED PRECAST CONCRETE WALL	AP FORMLINER MODULAR BRICK VELOUR #101A	SW 708A GUFFIN
EF-21	INSULATED PRECAST CONCRETE WALL	AP FORMLINER MODULAR BRICK VELOUR #101A	SW 7043 SHOU WHITE
EF-22	CANDY PASCIA PANEL AND SOFFT	PAC-CLAD	DARK BRONZE
EF-23	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-25	FELD PAINTED STEEL - HOLLOW METAL DOORS & WINDOWS	SHERWIN WILLIAMS	SW 7042 SHOU WHITE
EF-56	CONCRETE PLANTER	—	CAST IN PLACE CONCRETE PLANTER

\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
 \*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*

# EXHIBIT C

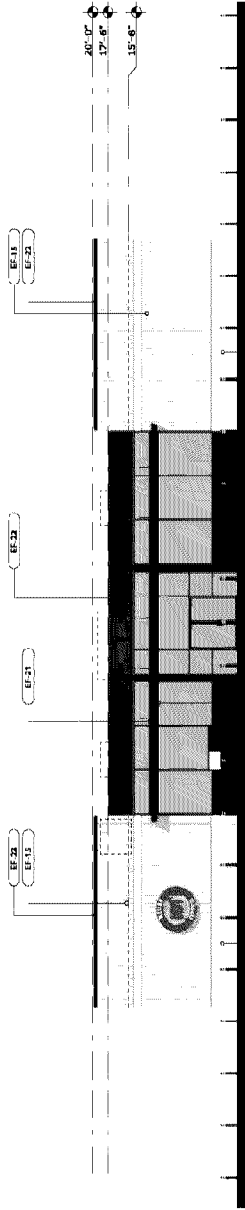


RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-3	ENTRANCE AND STOREFRONT FRAMES 1" INSULATED GUARDIAN 5. ASS. - CRYSTAL	---	DARK BRONZE ANODIZED ALUMINUM
EF-8	SECTIONAL STOREFRONT DOORS	---	WHITE
EF-14	INSULATED PRECAST CONCRETE WALL - PAINTED	---	SW 7655 PAPERIE
EF-15	INSULATED PRECAST CONCRETE WALL - VERTICAL, NON-PERFORATED STANDING SEAMS	RECCI FORMMER 2/25	SW 7038 TONY TAURE
EF-17	INSULATED PRECAST CONCRETE WALL - BRICK, MIMIC	KOPPELERS #10	SW 7036 GREEN
EF-19	INSULATED PRECAST CONCRETE WALL - BRICK, MIMIC	AP FORMLINER MODULAR1	SW 7042 SULLIVAN
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PKC CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PKC CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PKC CLAD	DARK BRONZE
EF-23	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7042 SULLIVAN
EF-32	SHEET METAL FLASHING AND TRIM - GUTTERS AND DOWNSPOUTS	PKC CLAD	SW 7036 GREEN
EF-40	FUEL ISLAND CANOPY COLUMNS	SHERWIN WILLIAMS	SW 6510 LOYAL BLUE
EF-71	FUEL ISLAND CANOPY GRAPHIC FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY	ALPOLIC	505 GREY
EF-74	FIELD PAINTED STEEL - METAL DECKING	SHERWIN WILLIAMS	DARK BRONZE
EF-74	METAL PANEL	ALPOLIC	DARK BRONZE
EF-74	EXTERIOR INSULATED FINISH SYSTEM	---	SW 7036 GREEN

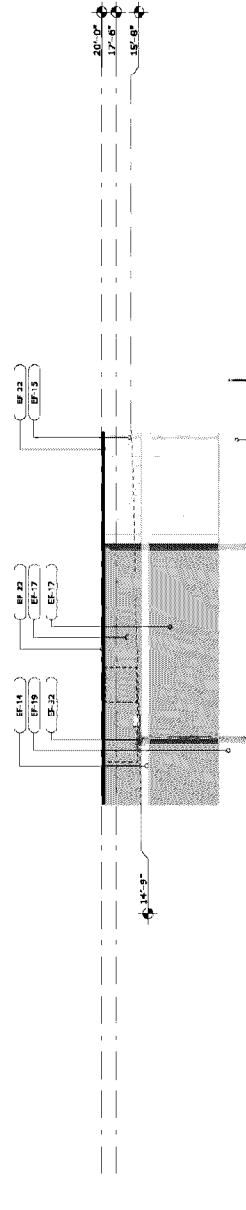
# EXHIBIT D

\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
\*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*

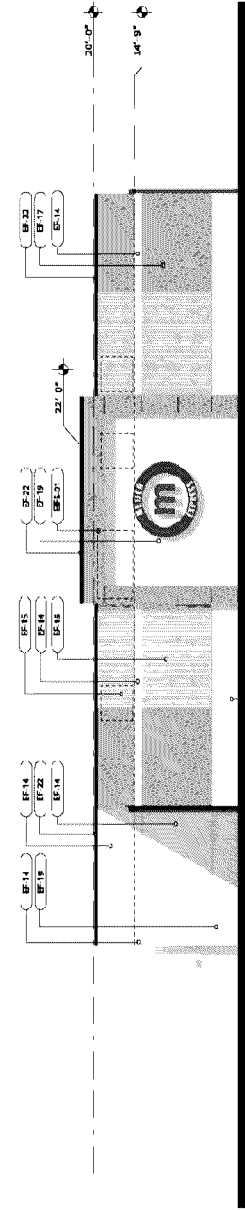
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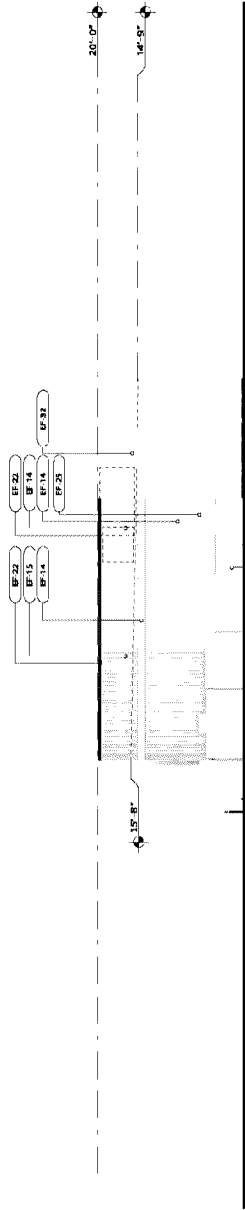
North/Right Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation not to scale



West/Right Elevation not to scale



Meijer mExpress Building & Canopy Elevations

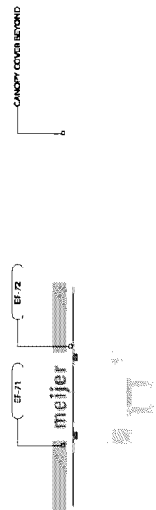
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# EXHIBIT D-1

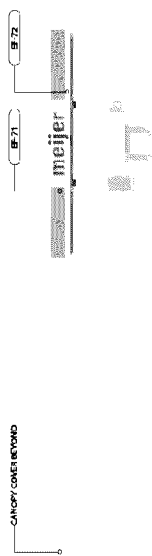
RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-40	FUEL ISLAND CANOPY STRUCTURE	SHERWIN WILLIAMS	SW 6510 LOVAL BLUE
EF-71	FUEL ISLAND CANOPY GRAPHIC FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY	ALPOLIC	505 GREY
BR-01	FUEL ISLAND COLUMN FINISH	THIN BRICK	TO SCHEDULE



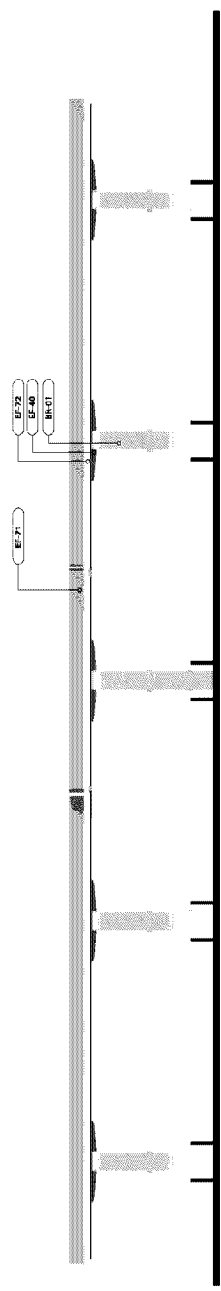
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West/Left Elevation not to scale



East/Left Elevation not to scale

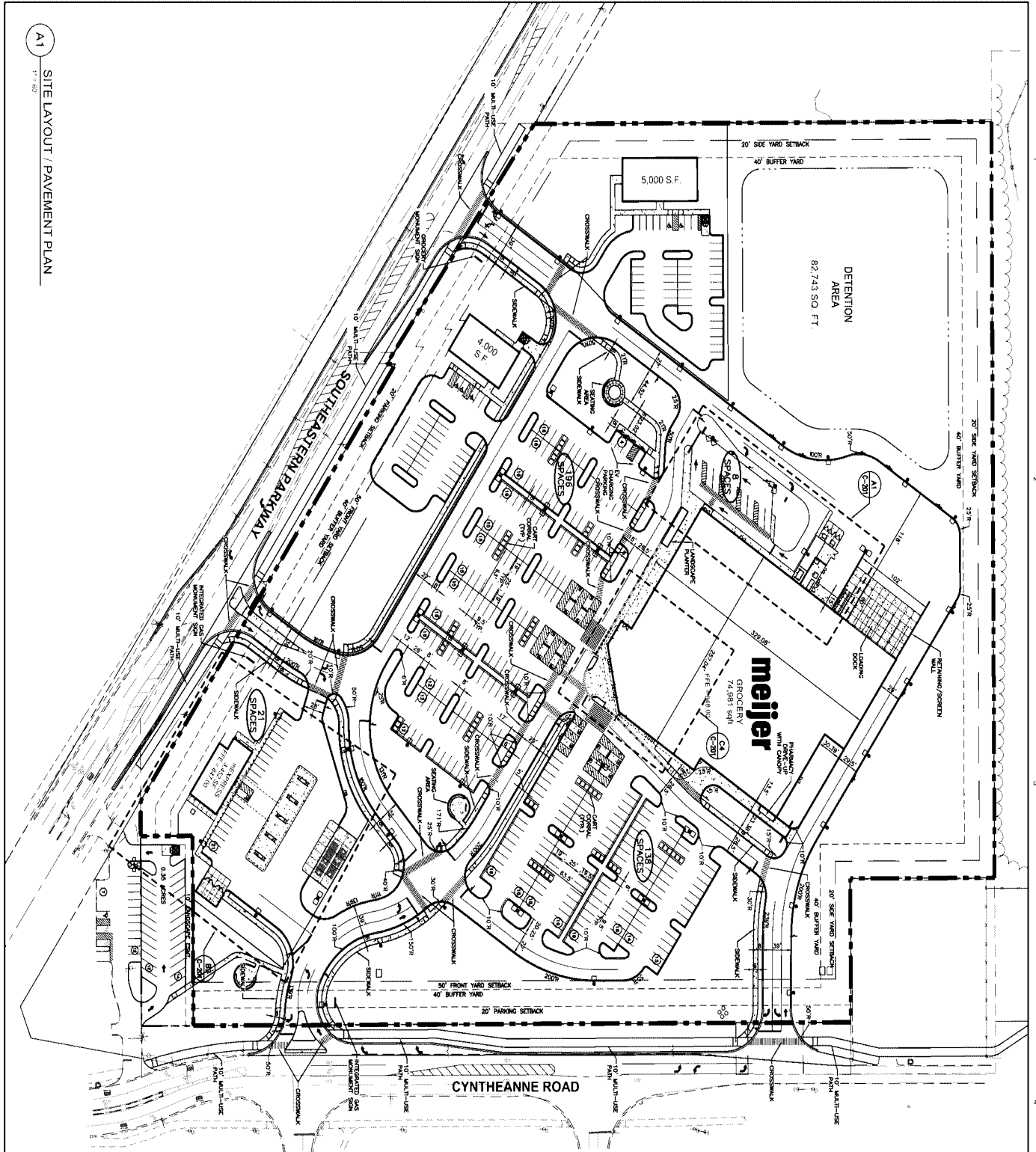


South/Right Elevation not to scale

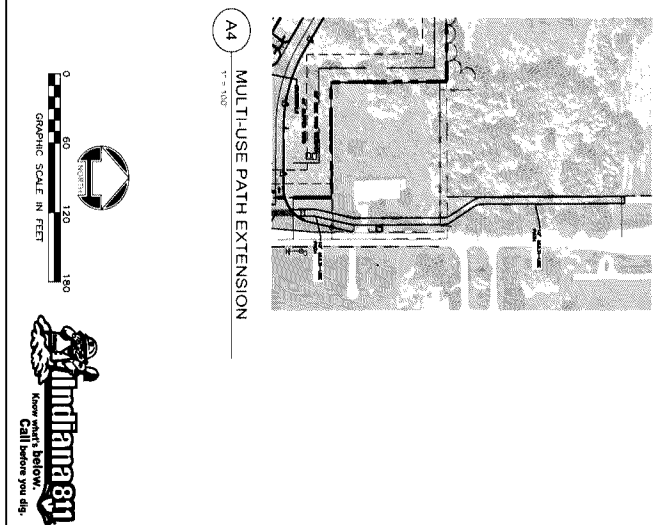


**Meijer** m Express Building & Canopy Elevations

TORONTO, ONTARIO



A1 SITE LAYOUT / PAVEMENT PLAN



A4 MULTI-USE PATH EXTENSION

**LEGEND**

	CONCRETE PAVEMENT		EXISTING BOUNDARY
	HEAVY DUTY ASPHALT PAVEMENT		PROPOSED BOUNDARY
	LIGHT DUTY ASPHALT PAVEMENT		PROPOSED SETBACK
	CARB TYPE TRANSITION		PROPOSED TOP OF ROAD
	8'-0" PARKING SPACE UNLESS NOTED OTHERWISE		OPEN SPACE
	AMBER PAVE PARKING SPACES		REQUIRED ACTIVE OPEN SPACE (15%)
	LIGHT PAVE		PROPOSED ACTIVE OPEN SPACE (14.500%)

- GENERAL NOTES**
- NO DIMENSION LINE BE SHOWN UNLESS NEAR TO THE DIMENSION FOR INTERPRETATION.
  - REVISIONS TO ANY DIMENSIONS ARE TO BE MADE BY CHANGING DIMENSIONS TO THE CORRECT DIMENSIONS WITH APPROPRIATE REDLINE. DIMENSIONS WITH REDLINE ARE SHOWN FOR REFERENCE ONLY WITH STRUCTURAL DIMENSIONS.
  - REVISIONS TO ANY DIMENSIONS ARE TO BE MADE BY CHANGING DIMENSIONS TO THE CORRECT DIMENSIONS WITH APPROPRIATE REDLINE. DIMENSIONS WITH REDLINE ARE SHOWN FOR REFERENCE ONLY WITH STRUCTURAL DIMENSIONS.
  - THE CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING TO CONSTRUCTION PERMITS, ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
  - PROVIDE ADEQUATE EMBANKMENTS AT DRIVE, DRIVEWAYS, EXCAVATIONS AND SPITS AND TRAP AND CURBS AT ALL DRIVEWAYS AND SPITS. ALL DRIVEWAYS AND SPITS SHALL BE CONCRETE AT ALL TIMES. EMBANKMENTS LEFT IN PLACE IN NIGHT SHALL BE CONCRETE AT ALL TIMES. EMBANKMENTS LEFT IN PLACE IN NIGHT SHALL BE CONCRETE AT ALL TIMES. EMBANKMENTS LEFT IN PLACE IN NIGHT SHALL BE CONCRETE AT ALL TIMES.
  - NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
  - PROVIDE ADEQUATE EMBANKMENTS AT DRIVE, DRIVEWAYS, EXCAVATIONS AND SPITS AND TRAP AND CURBS AT ALL DRIVEWAYS AND SPITS. ALL DRIVEWAYS AND SPITS SHALL BE CONCRETE AT ALL TIMES. EMBANKMENTS LEFT IN PLACE IN NIGHT SHALL BE CONCRETE AT ALL TIMES. EMBANKMENTS LEFT IN PLACE IN NIGHT SHALL BE CONCRETE AT ALL TIMES.
  - EXTENSION CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON STRUCTURAL FOUNDATION. ALL CONCRETE SHALL BE PLACED ON STRUCTURAL FOUNDATION. ALL CONCRETE SHALL BE PLACED ON STRUCTURAL FOUNDATION. ALL CONCRETE SHALL BE PLACED ON STRUCTURAL FOUNDATION.
  - ADJACENT TO EXISTING 12" BENCH BACK OF CURB ON SIDE OF ROADWAY UNLESS OTHERWISE NOTED.
  - ALL ROAD SHALL BE 4' UNLESS OTHERWISE NOTED.

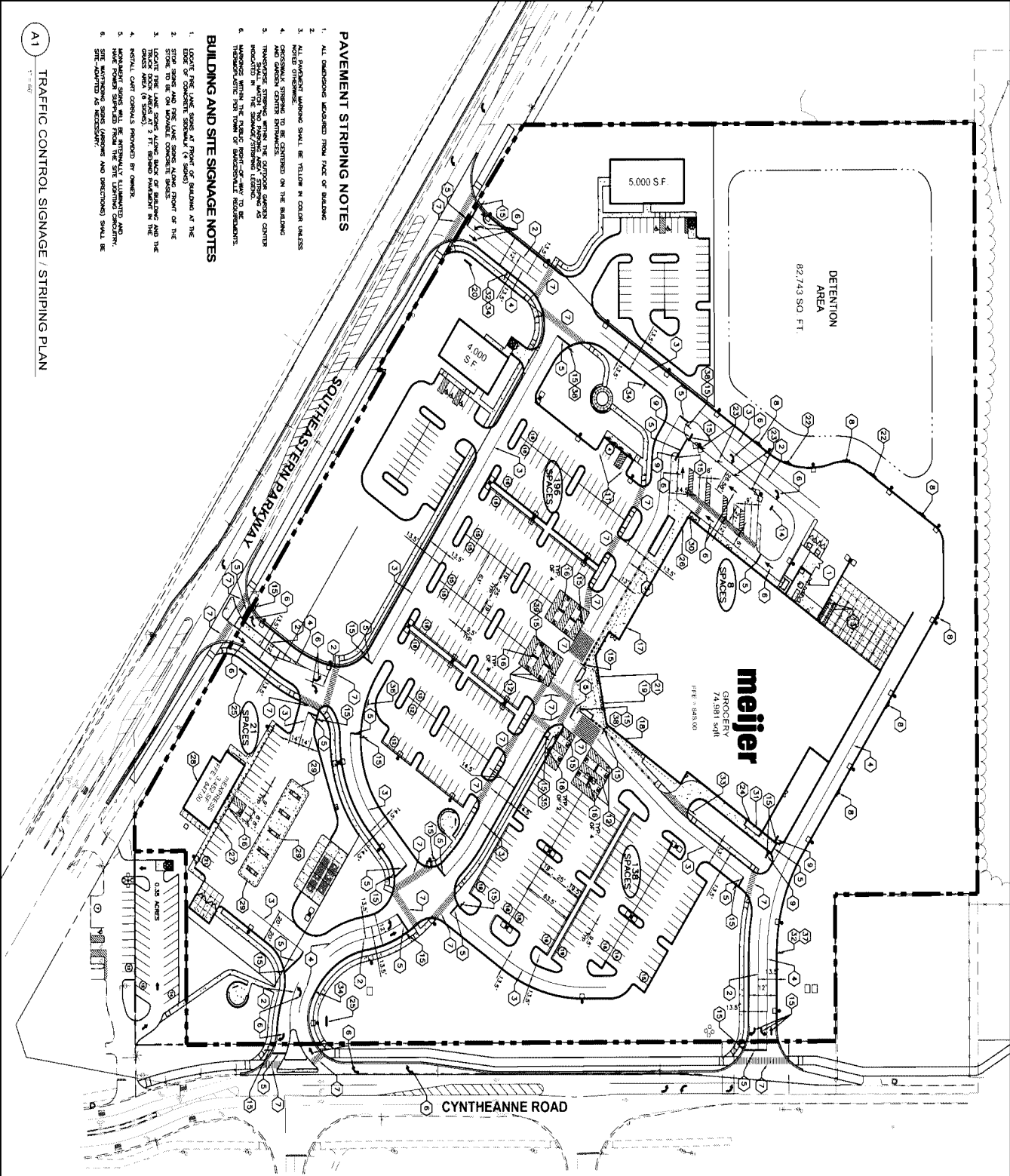


<p><b>MEIJER STORE FSR</b>                  3000 SOUTHEASTERN PARKWAY                  FISHERS, HAMILTON COUNTY, INDIANA 46037</p>	<p><b>SITE LAYOUT / PAVEMENT PLAN</b></p>	<p><b>meijer</b>                  2829 WALKER AVENUE                  GRAND RAPIDS, MICHIGAN 49544                  (616) 453-6711</p>	<p><b>WOOLPERT</b>                  4454 Iona Center Boulevard                  Dayton, OH 45424                  937.451.5660</p>
<p>ISSUED FOR: _____                  DRAWN BY: _____                  CHECKED BY: _____                  DISTRIBUTION: _____                  RLS: _____                  DATE: 10/01/2024</p>	<p>MEJOR STORE FSR                  3000 SOUTHEASTERN PARKWAY                  FISHERS, HAMILTON COUNTY, INDIANA 46037</p>	<p>REV: _____                  DATE: _____                  DESCRIPTION: _____</p>	<p>C-200</p>

- PAVEMENT STRIPING NOTES**
1. ALL DIMENSIONS MEASURED FROM FACE OF BUILDING
  2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE
  3. CHANGELINE STRIPING TO BE CENTERED ON THE BUILDING THROUGHOUT STRIPING WITHIN THE EXISTING ASPHALT DRIVEWAYS
  4. THROUGHPUT STRIPING WITHIN THE EXISTING ASPHALT DRIVEWAYS TO BE CENTERED ON THE DRIVEWAY AS INDICATED WITHIN THE DRAWING AND STRIPING AS INDICATED WITHIN THE DRAWING
  5. THROUGHPUT STRIPING WITHIN THE EXISTING ASPHALT DRIVEWAYS TO BE CENTERED ON THE DRIVEWAY AS INDICATED WITHIN THE DRAWING
  6. THROUGHPUT STRIPING WITHIN THE EXISTING ASPHALT DRIVEWAYS TO BE CENTERED ON THE DRIVEWAY AS INDICATED WITHIN THE DRAWING

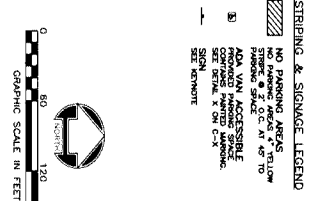
- BUILDING AND SITE SIGNAGE NOTES**
1. LOCATE THE LANE SPACES AT POINT OF BUILDING AT THE EDGE OF CONCRETE SIDEWALK (4' SIDING)
  2. STRIPING AND THE LANE SPACES ALONG FRONT OF THE BUILDING SHALL BE CENTERED ON THE BUILDING
  3. LOCATE THE LANE SPACES ALONG BACK OF BUILDING AND THE THROUGHPUT STRIPING AT 3' FROM BUILDING IN THE REAR
  4. DETAIL CANT CURBS PROVIDED BY OWNER
  5. MARKING SHALL BE INTERNALLY SUBMITTED AND HAVE POWER SUPPLIED FROM THE SITE LIGHTING CIRCUITRY
  6. SITE MARKING TO BE SUBMITTED

A1 TRAFFIC CONTROL SIGNAGE / STRIPING PLAN



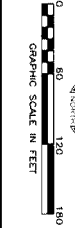
**SIGNAGE & STRIPING KEYNOTES**

1	NO PARKING SIGN, MOUNTED TO WALL, ARROWS TO RIGHT AND LEFT
2	4" SINGLE SOLID LINE, WHITE
3	4" SINGLE SOLID LINE, YELLOW
4	4" DOUBLE SOLID LINE, YELLOW
5	12" STOP LINE, WHITE
6	LANE ARROW, WHITE
7	CROSSWALK
8	NO PARKING - FIRE LANE SIGN
9	WARNING WALK SIGN
10	4" DOUBLE SOLID LINE, WHITE
11	TYPE PARKING SPACES WITH STRIPING AND SIGNAGE
12	BLUE ADA STRIPING (TYP.)
13	4" LANE MARKING, TYPE, YELLOW, SPACED AT 12" ON CENTER, COMPATIBLE WITH YELLOW C-SIGMENTS
14	NO-PARK MONUMENT SIGN, SEE DETAIL A1 ON SHEET C-501, TYPE SIGN
15	TYPE SIGN
16	ADA ACCESSIBLE PARKING SIGNAGE
17	LOCAL WINDOW SIGN, SEE DETAIL A4 ON SHEET C-501
18	FRESH WINDOW SIGN, SEE DETAIL B8 ON SHEET C-501
19	WELCOME SIGN, SEE DETAIL C5 ON SHEET C-501
20	WATER PROOF MONUMENT SIGN, SEE DETAIL D4 ON SHEET C-501
21	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
22	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
23	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
24	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
25	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
26	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
27	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
28	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
29	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
30	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
31	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
32	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
33	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
34	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
35	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
36	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
37	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
38	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
39	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501
40	WATER PROOF MONUMENT SIGN, SEE DETAIL D1 ON SHEET C-501



**PARKING SUMMARY**

MAIN STORE	208
STANDARD PARKING (9'-x-18')	14
HC VAN ACCESSIBLE	14
TOTAL PARKING	236
REQUIRED BY CODE	1
ADDITIONAL PARKING	20
HC ACCESSIBLE	1
TOTAL PARKING	21
REQUIRED BY CODE	1



C-500

10019671

MEIJER STORE FSR  
 3000 SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

TRAFFIC CONTROL SIGNAGE / STRIPING PLAN

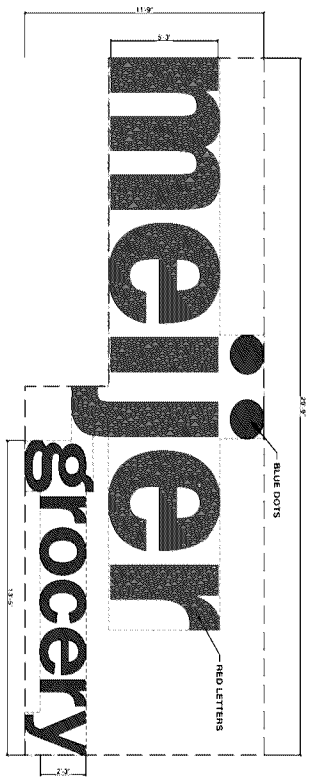
REV. DATE DESCRIPTION

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**WOOLPERT**  
 A Division of The Toro Company  
 4454 Ikea Center Boulevard  
 Dayton, OH 45420  
 531.401.5680

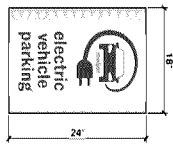




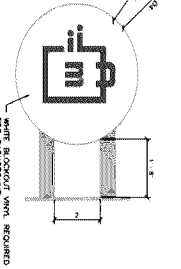
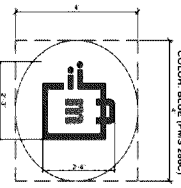
**D1** MEIJER GROCERY  
 11'-8" HIGHS  
 INTERNALLY ILLUMINATED MEIJER CHANNEL LETTERS TO MATCH CORPORATE LOGO & COLORS. SIZES OF LETTERS & REMAINERS TO BE PAINTED TO MATCH RESPECTIVE FACE COLORS.  
 TOTAL: 67'11" S.F.



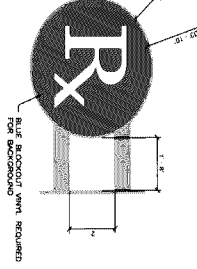
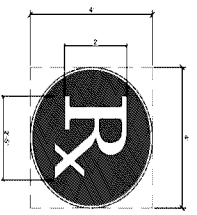
**C1** PICKUP SIGN  
 4'-6" HIGHS  
 LOW PROFILE REVERSE HALO LIT 3" DEEP POLY-CARBONATE COLOR: BLUE (PMS 288C)  
 TOTAL: 50.3 S.F.



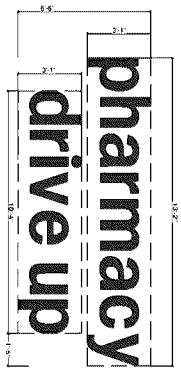
**C2** EV CHARGING SIGN  
 1'-8" HIGHS  
 TOTAL: 10.5 S.F.



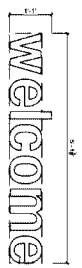
**B1** PICKUP BLADE SIGN  
 4'-6" HIGHS  
 INTERNALLY ILLUMINATED WHITE ACRYLIC SIGN WITH DARK BRONZE ALUMINUM REMAINE  
 COLOR: BLUE (PMS 288C) & RED (PMS 485C)  
 TOTAL: 118.9 S.F.



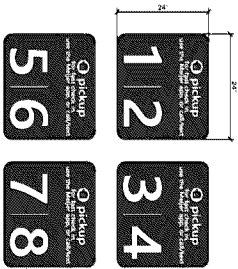
**A1** RX BLADE SIGN  
 4'-6" HIGHS  
 LEAD INTERNALLY ILLUMINATED WHITE ACRYLIC SIGN WITH DARK BRONZE ALUMINUM REMAINE  
 COLOR: BLUE (PMS 288C) & RED (PMS 485C)  
 TOTAL: 118.9 S.F.



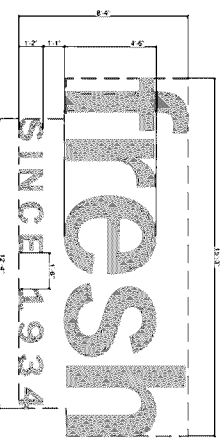
**C4** PHARMACY SIGN DRIVE UP  
 11'-2" HIGHS  
 LOW PROFILE REVERSE HALO LIT 1" DEEP EXTENSION FOAM LETTERS MOUNTED LEAD OFF WALL. SIZES OF LETTERS TO MATCH FACE FOAM COLOR. COLOR: RED (PMS 288C)  
 TOTAL: 72.2 S.F.



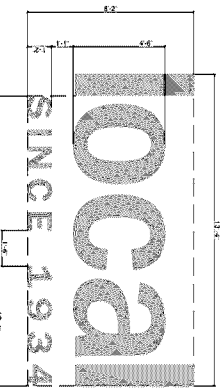
**C5** WELCOME SIGN  
 5'-8" HIGHS  
 NON-ILLUMINATED DIE-CUT VINYL SURFACED APPLIED.  
 TOTAL: 4.2 S.F.



**A4** PICKUP SIGN PARKING SPACE NUMBERS  
 SIGN POLE AND BASE TO BE CONSTRUCTED PER DETAIL BT ON C-701  
 2'-6" HIGHS  
 TOTAL: 4.0 S.F.



**B5** FRESH SINCE 1934 - WINDOW SIGN  
 15'-3" HIGHS  
 NON-ILLUMINATED WINDOW DECAL. COLOR: SHERWIN WILLIAMS SW 9174 MOTH WING  
 TOTAL: 120.5 S.F.



**A5** LOCAL SINCE 1934 - WINDOW SIGN  
 14'-4" HIGHS  
 NON-ILLUMINATED WINDOW DECAL. COLOR: SHERWIN WILLIAMS SW 9174 MOTH WING  
 TOTAL: 106.6 S.F.

**GENERAL NOTES**

- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL SOURCE FOOTAGE VALUES PROVIDED ON SHEETS C-501 AND C-502 FOR THE RESPECTIVE SIGNS.
- ALL WINING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
- FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

**MAIN STORE SIGNAGE**

DETAIL	QTY	DESCRIPTION	CALCULATED SF	TOTAL SF
D1	1	meijer grocery	181.0	201.7
C4	1	pharmacy drive up	47.2	72.4
C5	1	welcome	4.2	5.0
C1	1	pickup	21.1	26.0
B1	1	pickup blade sign	12.6	16.0
A1	1	Rx blade sign	12.6	16.0
<b>TOTAL</b>			<b>278.7</b>	<b>428.6</b>

**WOLPERT**  
 A SIGNAGE SPECIALTY COMPANY  
 4434 1683 Center Boulevard  
 Dayton, OH 45430  
 937.461.5660

**meijer**  
 2929 WALKER AVENUE  
 GRAND RAPIDS, MICHIGAN 49544  
 (616) 453-6711

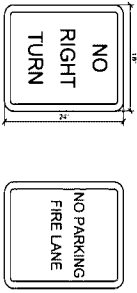
MEIJER STORE FSR  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

EXTERIOR SIGNAGE DETAILS

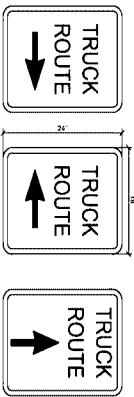
ISSUED FOR:	MEIJER
PREPARED BY:	AMCOVY
BID NO.:	AMCOVY
CONTRACT NO.:	AMCOVY
DATE:	3/20/24
BY:	JMR

10019671

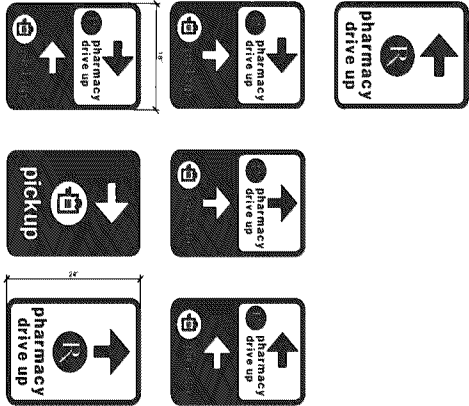
C-501



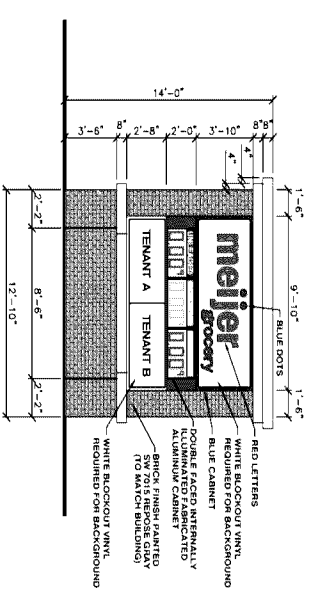
D1 RESTRICTION SIGNAGE TOTAL: 3.0 SF



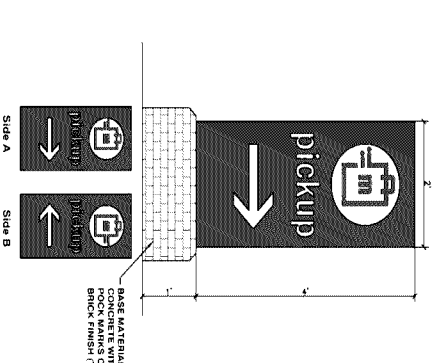
C1 TRUCK ROUTE SIGNAGE TOTAL: 3.0 SF



C2 PARKING LOT WAYFINDING TOTAL: 3.0 SF

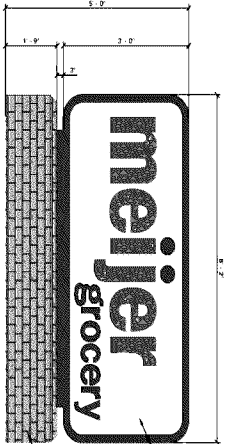


A1 MONUMENT SIGN WITH GAS PRICER (4) TOTAL: 83.8 SF



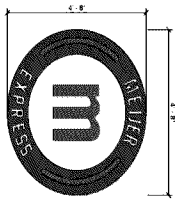
A2 PICKUP MONUMENT SIGN TOTAL: 8.0 SF

NOTES:  
 1. COLORS ARE WAGON BLUE (PMS 286), WAGON RED (PMS 486), AND WHITE.  
 2. CANT-VINYL APPLIED TO MEIJER BLUE ALUMINUM SIGN BULKES.  
 3. SIGN IS TO BE MOUNTED AS SHOWN. POLES TO BE SIZED APPROPRIATELY BY ARCHITECTURAL PLANS.

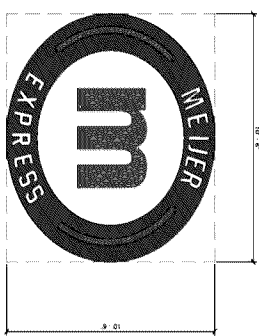


B3 GROCERY MONUMENT SIGN TOTAL: 23.5 SF

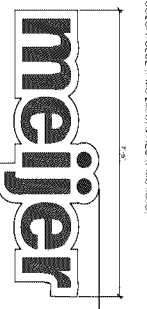
WHITE BLOCKOUT VINYL REQUIRED FOR BACKGROUND  
 BASE MATERIAL: CAST IN PLACE CONCRETE. NO ROCK OR SAND. NO REINFORCING. BRICK FINISH TO MATCH BUILDING.



A4 MEXPRESS WALL SIGN FLUSH MOUNTED TOTAL: 27.7 SF



B5 MEXPRESS WALL SIGN FLUSH MOUNTED TOTAL: 110.2 SF



A5 GAS CANOPY SIGN LAYOUT TOTAL: 18.2 SF

**GENERAL NOTES**

- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDORS SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND COLORS FOR THE RESPECTIVE SIGNS.
- ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
- FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

**MAIN STORE SIGNAGE**

DETAIL QTY	DESCRIPTION	CALCULATED SF	TOTAL SF
C2	wayfinding signage	3.0	27.0
A2	pickup monument sign	8.0	8.0
	<b>Total</b>	11.0	35.0

**MEXPRESS STORE SIGNAGE**

DETAIL QTY	DESCRIPTION	CALCULATED SF	TOTAL SF
A4	Canopy Logo (18.2 sq)	18.2	57.6
A4	meXpress Flush Mounted	21.7	21.7
B5	meXpress Flush Mounted	110.2	110.2
	<b>Total</b>	147.6	189.5

**MEXPRESS SITE SIGNAGE**

DETAIL QTY	DESCRIPTION	CALCULATED (SF)	TOTAL (SF)
A1	INTEGRATED GAS MONUMENT		
	TENANT A		
	TENANT B		
	<b>TOTAL</b>		83.8
A3	GROCERY MONUMENT		
	LOGO		
	<b>TOTAL</b>		23.5

**MEIJER STORE FSR**  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

EXTERIOR SIGNAGE DETAILS

2925 WALKER AVENUE  
 GRAND RAPIDS, MICHIGAN 49544  
 (616) 453-6711

DESIGNED FOR: WANDOVY

BY: WANDOVY

DATE: 6/27/2024

CONTRACT NO.: 10019671

CLIENT: MEIJER

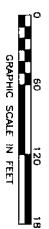
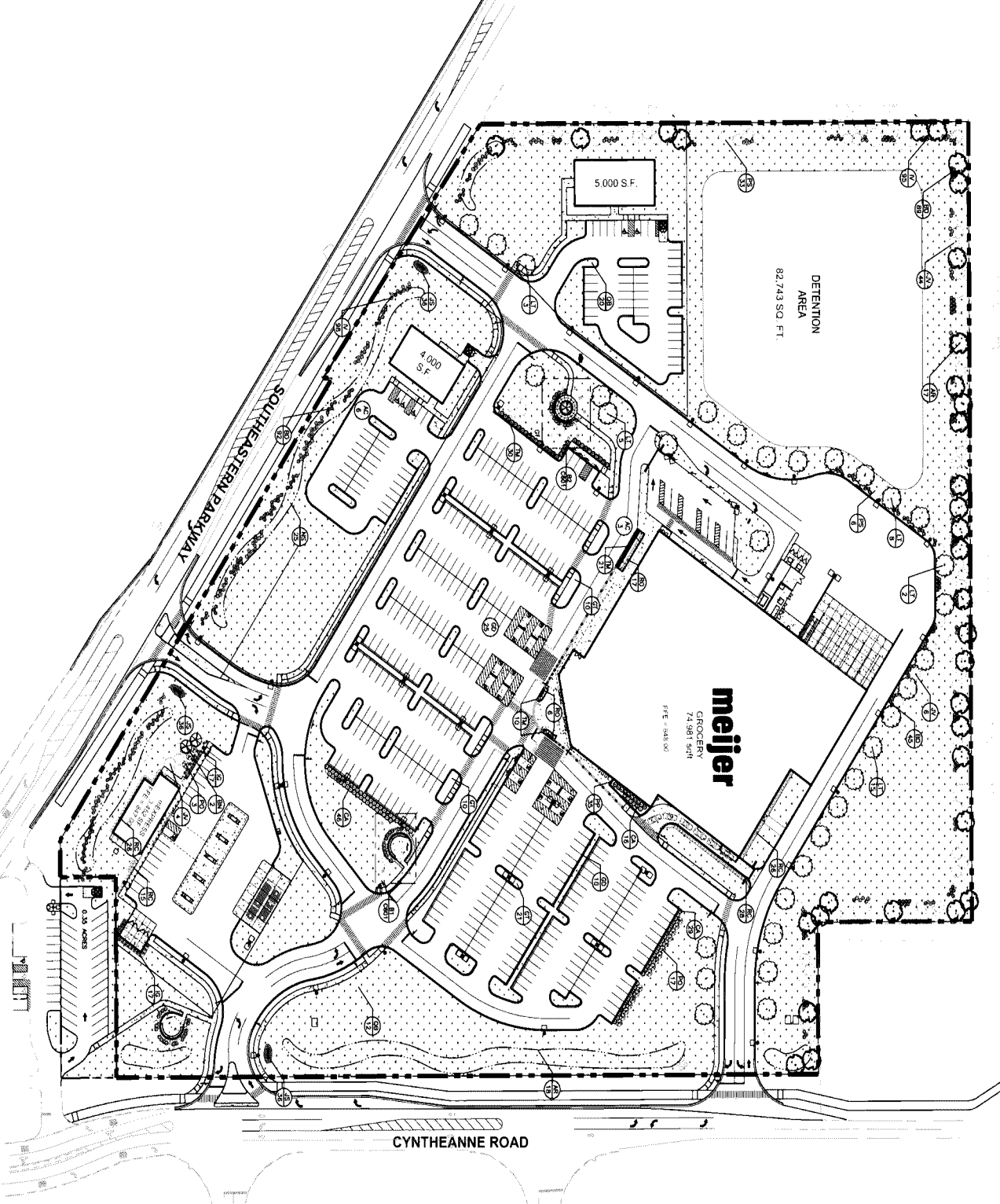
PROJECT NO.: 10019671

DATE: JUN 2024

C-502

**WOLPERT**  
 ARCHITECTURE AND ENGINEERING, P.C.  
 4444 Lakes Center Boulevard  
 Dayton, OH 45424  
 937.481.5660

A1 LANDSCAPE PLAN



- A5 LANDSCAPING LEGEND**
- SHREDDED HARDWOOD MULCH TO 2 IN. DEPTH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS (244.1.53 97)
  - SEED MIXTURE TYPE A

- LANDSCAPE NOTES**
1. COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGN LINES TO BUILDING. MAKE QUOTE UNQUOTE 2' CLEARANCES AND 3' CLEARANCES FROM PLANTING OVER THE UTILITIES AND/OR WITHIN SIGN LINES.
  2. THE CENTER OF LAWN ISLANDS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB.
  3. ALL LAWN THAT REQUIRE SEEDING SHALL RECEIVE 4" MINIMUM TOPSOIL, UNLESS NOTED OTHERWISE.
  4. SEED ALL UNIMPROVED AREAS, EXCEPT AREAS OF SEEDING WITH CONSTRUCTION MANAGEMENT PLAN, WITH A MINIMUM OF 1/2" TOPSOIL. SEEDING SHALL BE SEEDING AT NO ADDITIONAL COST TO THE CLIENT. THE SEEDING AND FERTILIZER SHALL BE SEEDING AT NO ADDITIONAL COST TO THE CLIENT.
  5. TOPSOIL SHALL BE TESTED AND ADJUSTED AS NECESSARY DURING FINAL GRADING AND PREPARATION FOR SEEDING BY CONTRACTOR.
  6. APPLY STRAW FERTILIZER (16-22-4) AT 200 POUNDS/ACRE TO SEED AREAS.
  7. ALL LANDSCAPE PLANTS SHALL BE NATURAL COLOR, ONE-FRAME, 3" DEEP SHROUDED TREES WITH PRE-COMBUSTION HERBICIDE TREATMENT FOR 1 YEAR PRIOR TO PLANTING AND 3" DEEP SHEET C-501 FOR PLANT SCHEDULE.
  8. ALL LANDSCAPING SHALL BE INSTALLED A MINIMUM OF 4' FROM THE EDGE OF PAVEMENT UNLESS A VEHICLE WILL OVERLAP A LANDSCAPE BED. SEE DETAIL OF OR C-601.

**LANDSCAPE CODE SUMMARY**



ISSUED FOR:	MEJER STORE FSR
PROJECT:	XXXX SOUTHEASTERN PARKWAY FISHERS, HAMILTON COUNTY, INDIANA 46037
DATE:	7/26/2024
CONTRACT NO.:	
DESIGNER:	BLS
CHECKER:	JMR
DATE:	10/01/2024
PROJECT NO.:	C-600

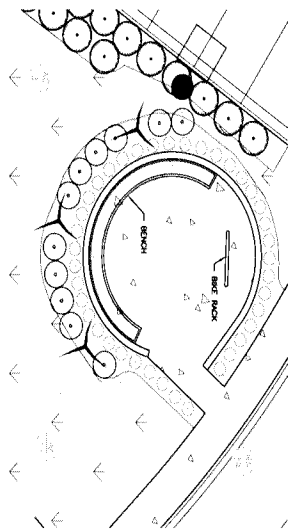
**MEJER STORE FSR**  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

**LANDSCAPE PLAN**

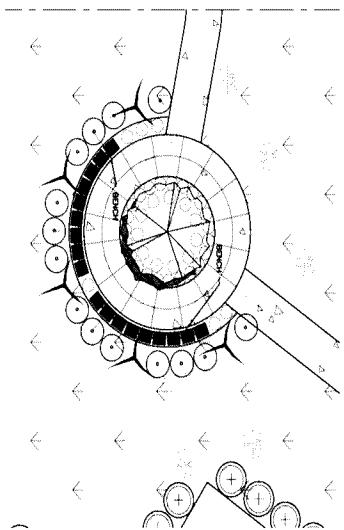
REV.	DATE	DESCRIPTION



**WOLPERT**  
 A DIVISION OF THE ENGINEERING CORPORATION  
 4454 Idea Center Boulevard  
 Dayton, OH 45420  
 937.461.8600



**C1** AREA ENLARGEMENT A



**B1** AREA ENLARGEMENT B

TREES	QUANTITY	COMMON NAME	COMMON NAME	COMMON NAME	COMMON NAME	COMMON NAME
1	1	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
2	2	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
3	3	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
4	4	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
5	5	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
6	6	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
7	7	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
8	8	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
9	9	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
10	10	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
11	11	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
12	12	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
13	13	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
14	14	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
15	15	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
16	16	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
17	17	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
18	18	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
19	19	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
20	20	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
21	21	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
22	22	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
23	23	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
24	24	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
25	25	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
26	26	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
27	27	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
28	28	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
29	29	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
30	30	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
31	31	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
32	32	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
33	33	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
34	34	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
35	35	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
36	36	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
37	37	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
38	38	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
39	39	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
40	40	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
41	41	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
42	42	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
43	43	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
44	44	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
45	45	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
46	46	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
47	47	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
48	48	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
49	49	AMERICAN BEECH	F45101	2" DBH	10' H	10' H
50	50	AMERICAN BEECH	F45101	2" DBH	10' H	10' H

**D4** PLANTING SCHEDULE

\* QUANTITIES ARE PROVIDED FOR CONFORMANCE ONLY. CONTRIBUTION IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.

COMMON NAME	PROPT BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	95%	95%
TALL FESCUE	70%	95%	95%
PERENNIAL RYE GRASS	10%	95%	95%

APPLICATION RATE: 8 LBS/1000 FT<sup>2</sup>

**C4** GRASS SOD SCHEDULE



MEIJER STORE FSR  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

LANDSCAPE DETAILS

ISSUED FOR: **MANICURE**  
 PREPARED BY: **MANICURE**  
 CHECKED BY: **MANICURE**  
 CONSTRUCTION: **MANICURE**

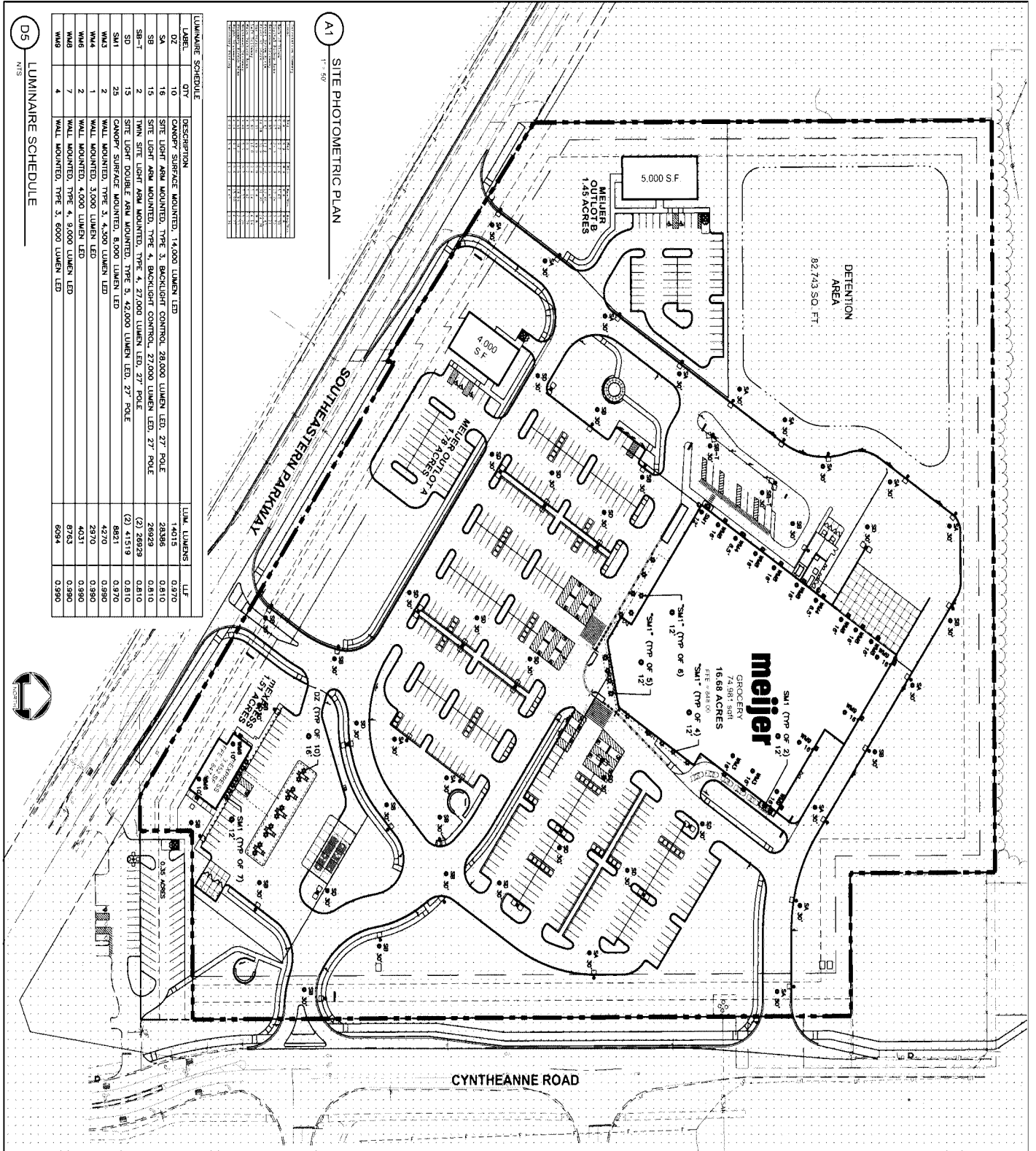
DATE: **JMR**  
 PROJECT NUMBER: **10019671**

**C-601**

**meijer**  
 2929 WALKER AVENUE  
 GRAND RAPIDS, MICHIGAN 49544  
 (616) 453-6711

**WOLPERT**  
 4454 Idea Center Boulevard  
 Dayton, OH 45430  
 937.461.5860

REV. DATE DESCRIPTION



A1 SITE PHOTOMETRIC PLAN  
 1" = 50'

LUMINAIRE SCHEDULE				
LABEL	QTY	DESCRIPTION	LUM. LUMENS	LF
DZ	10	CANOPY SURFACE MOUNTED, 14,000 LUMEN LED	14015	0.970
SA	16	SITE LIGHT ARM MOUNTED, TYPE 3, BACKLIGHT CONTROL, 29,000 LUMEN LED, 27' POLE	28986	0.810
SB	15	SITE LIGHT ARM MOUNTED, TYPE 4, BACKLIGHT CONTROL, 27,000 LUMEN LED, 27' POLE	28929	0.810
SB-T	2	TWIN SITE LIGHT ARM MOUNTED, TYPE 4, 27,000 LUMEN LED, 27' POLE	(2) 28929	0.810
SD	15	SITE LIGHT DOUBLE ARM MOUNTED, TYPE 5, 42,000 LUMEN LED, 27' POLE	(2) 41919	0.810
SM1	25	CANOPY SURFACE MOUNTED, 8,000 LUMEN LED	8821	0.970
SM2	2	WALL MOUNTED, TYPE 3, 4,500 LUMEN LED	4270	0.990
SM3	1	WALL MOUNTED, 3,000 LUMEN LED	2970	0.990
SM4	2	WALL MOUNTED, 4,000 LUMEN LED	4031	0.990
SM6	7	WALL MOUNTED, TYPE 4, 9,000 LUMEN LED	8763	0.990
SM9	4	WALL MOUNTED, TYPE 3, 6,000 LUMEN LED	6094	0.990

D5 LUMINAIRE SCHEDULE  
 NIS



<b>MEIJER STORE FSR</b> XXXX SOUTHEASTERN PARKWAY FISHERS, HAMILTON COUNTY, INDIANA 46037	<b>PHOTOMETRIC PLAN</b>			
REVISION NO. DATE BY 1 10/01/2024 JMR				
PROJECT NO. 10019671				
DRAWING NO. C-801				
				<b>meijer</b> 2929 WALKER AVENUE GRAND RAPIDS, MICHIGAN 49544 (616) 453-6711
				<b>WOLPERT</b> 4451 Idea Center Boulevard Dayton, OH 45424 937.451.5860

ORDINANCE NO. \_\_\_\_\_

~~AN ORDINANCE AMENDING THE ZONING ORDINANCE  
OF FISHERS, INDIANA 1980.~~

~~AN ORDINANCE OF THE COMMON COUNCIL OF THE CITY OF FISHERS, HAMILTON COUNTY, INDIANA, AMENDING THE TEXT OF THE OF THE FALL CREEK MARKET PUD ORDINANCE, ORIGINALLY ADOPTED ON OCTOBER 2, 2006, AS ORDINANCE NO. 050106A, AS FOLLOWSZONING ORDINANCE OF FISHERS, INDIANA w 1980. BE IT ORDAINED BY THE TOWN CITY COUNCIL OF THE TOWN CITY OF FISHERS, INDIANA, THAT THE ZONING ORDINANCE, A PART OF THE COMPREHENSIVE PIAN AND ORDINANCE 1980, ORDINANCE NO. 110380, AS AMENDED, IS HEREBY AMENDED AS FOLLOWS:~~

**SECTION 1. DECLARATION**

~~That the text of the Fall Creek Market PUD, originally adopted on October 2, 2006, as Ordinance No. 050106A, which is part of the Unified Development Ordinance of the City of Fishers, Indiana, Ordinance No. 090605A, as amended (the "UDO"), is hereby amended as provided herein. Zoning Code of the Town City of Fishers, Indiana, Ordinance No. 110380, and the Official Zoning Map, Town City of Fishers, Indiana, dated November 3, 1980, which accompanies and is part of the Zoning Code of the Town City of Fishers, Indiana, as amended, are hereby amended as follows:~~

~~That the Zoning Classification of the following described Real Estate is hereby zoned as PUD-C and this ordinance shall hereinafter be referred to as the "Cyntheanne and 5238 Southeastern Parkway Falls Creek Marketplace PUD Ordinance":~~

SEE "EXHIBIT A" ATTACHED HERETO.

~~SECTION 2.~~ **SECTION 2. PURPOSE AND INTENT**

~~To create a neighborhood commercial district for property located northwest of the intersection of State Road 238 Southeastern Parkway and Cyntheanne Road through the adoption of development standards including architectural design and material standards to aesthetically enhance the commercial areas to be compatible with the surrounding residential neighborhoods.~~

**SECTION 3. LAND USE**

~~A. Grocery Store, All uses described in Section 151.073 (C1, Commercial District) and Section 151.074 (C2, Commercial District) of the Fishers Zoning Code, as amended, shall be permitted.~~

- ~~B.A. \_\_\_\_\_ Neighborhood retail including grocery, drug which may include bakery, produce, pharmacy, ~~to~~ alcohol sales, butcher/meat, floral and similar uses typically found in grocery stores, are permitted provided that no single occupancy may exceed ~~sixty five~~ eighty thousand (6580,000) gross square feet for an anchor tenant ~~and provided the anchor tenant has a minimum of two (2) separate and distinct customer entrances across the front of the building.~~ The 90,000 square foot limitation of the C-2 district shall not apply to the overall PUD, provided overall development and individual structures are compliant with the PUD concept plan.~~
- B. The following uses shall be permitted provided that no single occupancy shall exceed 5,000 square feet:
- 1) Child Care Center
  - 2) Medical, dental office or chiropractor, osteopath, physician or medical practitioner
  - 3) Medical Clinic
  - 4) Office, including business services, professional services, financial services, counseling in an office setting, charitable institution (not providing housing, shelter or sales) or government office.
  - 5) Beauty/Hair Salon
  - 6) Optometrist
  - 7) Restaurant
  - 8) One Vehicle fuel sales/gas station and convenience store, which may include the indoor sale of retail products, shall be allowed.
- C. Any adult entertainment uses shall be prohibited.
- D. Package liquor sales shall be prohibited in gas stations/convenience stores or other similar stand-alone package stores/outlots, or "pick-up" facilities.
- E. Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license.
- ~~F. One service station shall be allowed in the Cyntheanne Road and SR238 Southeastern Parkway PUD District.~~

#### **SECTION 4. CONCEPTUAL DEVELOPMENT PLAN**

The updated Concept Plan, attached hereto as "Exhibit B", is adopted as part of this ordinance. Adoption of the Concept Plan, however, does not constitute approval of any detailed and final development plans; such further approval is subject to the procedures set out in Section 7, below.

#### **SECTION 5. DEVELOPMENT STANDARDS**

Except as modified by this PUD Ordinance, the development shall comply with the development, landscaping and parking standards of the Zoning Code of the ~~Town~~ City of Fishers.

##### A. Bulk and Density Standards

##### 1) Building Setbacks

Minimum Front Yard

50'

Minimum Rear Yard	20'
Minimum Side Yard	20'

2) Lot Frontage

a) Minimum lot frontage may be reduced to 75 feet for one individual outlot. All other lots shall meet the minimum standard of the UDO.

3) Lot Coverage

a) Lot coverage shall not exceed seventy-five percent (75%) and is inclusive of buildings, parking area and other impervious surfaces, which results in an open space requirement of twenty five percent (25%) of the land area.

4) Building Height

a) Buildings are restricted to thirty-five~~six~~ feet (35~~6~~) maximum of two (2) stories (pitched roofs are measured as the mid-point).

~~a)5) A building on an outlot shall not be larger than 5,000 square feet and shall contain no more than threefour tenants.~~

B. Landscaping e-Buffering

1) The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) trees and ~~ten (10)~~fifteen (15) shrubs per one hundred (100) lineal feet. Existing trees may count towards the requirement. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.

2) The landscape buffers for the north and east property lines of Area B shall incorporate the existing trees and shall also include a combination of six (6) trees and ~~ten (10)~~ shrubs per one hundred (100) lineal feet. All new plantings shall be native.

3) Where required, street trees shall be provided at a ratio of one (1) canopy tree per fifty (50 feet). Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan.

C. Architectural Standards

- 1) All structures within an individual PUD area shall be constructed with similar design, materials and compatible architecture.
- 2) All buildings shall screen all mechanical equipment including that which is mounted to the roof and/or ground.
- 3) The exterior of all buildings adjacent to residentially zoned areas or occupied shall consist of a brick, masonry, or stone façade, or stucco or precast concrete materials with brick, stone or masonry surface and appearance.

4) Facades that have greater than one hundred feet (100') in length, measured horizontally, shall incorporate wall plane projections, or recessesprojections, recesses, canopy's, or structural screenwallscreen walls having a depth of at least teneight feet



~~(108')~~ five percent (5%) of the length of the facade and extending at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed one hundred ~~and fifty~~ horizontal feet ~~(150100')~~.

- 5) Where large retail structures contain additional, separately owned or leased stores that occupy less than twenty-five thousand (25,000) square feet of gross floor area and have separate, exterior customer entrances, the street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the building facade of such additional stores. Window requirements for the gas service station shall be reduced to forty percent (40%) percent of the horizontal length of the building facade and shall apply only to the primary entrance facade of the gas service station.
- 6) Building facades shall include a repeating pattern that includes no less than three (3) of the following elements:
  - a) Color change;
  - b) Texture change;
  - c) Material module change;
  - d) An expression of architectural or structural bays through a change in plane no less than twelve inches (12") in width, such as an offset, reveal or projecting rib.
- 7) Roof architecture
  - a) Roofs shall have some combination of the following features:
    - (1) All roof areas shall restrict rooftop equipment such as HVAC units from public view by extending the supporting wall or parapet. Such roof features shall contain three-dimensional cornice treatment,
    - (2) Overhanging eaves, extending no less than three feet (3') past the supporting walls;
    - ~~(3) Three or more roof slope planes.~~
  - b) Gasoline service station canopies shall have pitched roofs. Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height. Gasoline service canopies shall have masonry support pillars to support the gas station canopy.
  - c) Office uses, separate retail tenants, single story and buildings of less than fifty thousand (50,000) square feet must have pitched roofs to be more residential in character. Notwithstanding, the permitted gasoline service station and its canopy shall be architecturally consistent with the primary grocery use and may have flat roofs.
  - d) ~~No more than fifty percent (50%) of the roof shall be flat unless the roof has an architectural addition.~~ Flat roofs shall have architectural significance, such as different sections of flat roofs so the roof can be given articulation with different heights. The look of the building shall therefore be softened by the feel of the facade.
- 8) Materials and colors.
  - a) Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, ~~and~~ tinted/textured concrete masonry units or precast concrete materials with brick stone or masonry surface appearance.
  - b) Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The

use of high-intensity colors, metallic colors, black or fluorescent colors shall be prohibited.

- c) Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
- d) Exterior building materials shall not include smooth-faced concrete block, ~~tilt-up concrete panels~~ or prefabricated steel panels.

9) Entryways.

- a) Each retail establishment greater than twenty thousand (20,000) square feet shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
  - (1) Canopies or porticos;
  - (2) Overhangs;
  - (3) Recesses/projections;
  - (4) Arcades;
  - (5) Raised corniced parapets over the door;
  - (6) ~~Peaked~~Varied roof forms;
  - (7) Arches;
  - (8) Architectural details such as tile work and moldings which are integrated into the building structure and design;
  - (9) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
- b) All building facades that are visible from ~~adjoining properties and/or~~ public streets shall comply with the requirements of items (1) through (9).

10) Pedestrian circulation

- a) Sidewalks shall be a minimum of five (5) feet in width, however, where applicable, they shall be ~~eight~~ten (10) feet in width asphalt in conjunction with the ~~Town-City Parks Plan~~ and to integrate with neighborhoods. Sidewalks shall be provided along all sides of the lot that abut a public street.
- b) Continuous internal pedestrian walkways, no less than eight feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of each retail building on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds and ground cover.
- c) Sidewalks, no less than eight feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. ~~Such sidewalks shall be located at least six feet from the facade of the building to provide planting facade.~~ In-ground or permanent planter boxes shall be provided in place of foundation planting along the outer edge of the sidewalk where they do not interfere with pedestrian access/connectivity to provide planting façade.
- d) Internal pedestrian walkways provided in conformance with part b) above shall provide weather protection features such as awnings or arcades within thirty feet (30') of all customer entrances.

- e) All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.

~~11) Trash removal, compaction, service vehicles, deliveries, parking lot sweepers, etc. shall not be permitted between the hours of 12:00 midnight and 6:00 a.m. with the exception of snow removal. Trash receptacles shall not be located closer to the right-of-way than the primary building, except where the property has frontage along two property lines. Gates shall not face residential use properties; such requirement shall not apply to school-owned and used properties which may be zoned residential. Refuse compactor units located within the loading area shall be screened from adjacent properties or right-of-way along the edge of the loading dock area but shall not require gates to completely enclose the unit.~~

12) Outlot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.-

#### D. Parking and Access

- 1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO.
- 2) Terminal planting beds may be eliminated adjacent to ADA accessible spaces.
- 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
- 4) Cart corrals shall be constructed of durable materials but may be moveable to facilitate parking lot clearing and maintenance.

#### E. Signage

- 1) ~~All wall signage shall be reverse channel letter neon or externally lit individual letter signs. All other signage requirements shall be in conformance with the Fishers Sign Code. A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign lighting and color modifications may be addressed as a part of this package.~~
- 2) The fuel pricing portion of the gas station sign may utilize digital changeable copy panels which remains static except for price changes, provided such signage does not exceed 25% of the overall sign, as measured per face.

#### F. Lighting

- 1) Lighting shall be limited to 0.5-foot candles at the property line. This requirement is exempt when adjacent to public right-of-way.
- 2) ~~There shall be no greater than a 20 to 1 ratio of lighting with a ten-foot candle~~

~~maximum on site.~~

- 3) Light poles shall be limited to thirty feet (30') in height
- 4) Light fixtures shall may be decorative along the entrance drives and along public rights-of-way approved as part of the overall architecture, but overall site illumination into the atmosphere shall be restricted through the use of shields on the fixture to ~~include a horizontal lamp and no more than a 180 degree angle of light~~ full cut-off fixtures.
- 5) Vehicle canopy lighting shall not exceed 40 foot candles in intensity. All lighting shall be recessed within the canopy structure.
- 6) Pedestrian lighting along the building facade may be satisfied through a combination of building and pole mounted lighting as detailed on the final lighting plan.

#### ~~G. Commitments~~

- ~~1) The Developer shall be subject to the Commitments, attached hereto as "Exhibit C", which shall include the following:
  - a) ~~Prior to the formal annexation of the Real Estate into the Town City of Fishers, the Developer agrees that any home constructed within Briarwood at Fishers shall voluntarily contribute to the Town City of Fishers, at the time that a building permit is issued, the then standard impact fees normally assessed by the Town City of Fishers for the residential building.~~
  - b) ~~The Developer agrees not to remonstrate against annexation of the Real Estate by the Town City of Fishers
    - (1) ~~The Developer agrees to include a Waiver of Remonstrance provision in the covenants and restrictions for the Real Estate, which will be recorded and provided to the purchaser of each lot with the Real Estate;~~
    - (2) ~~The Developer agrees to include a Waiver of Remonstrance provision on the recorded Subdivision Plat.~~
    - (3) ~~The Developer agrees to include Waiver of Remonstrance in the PUD Ordinance.~~~~~~

## **SECTION 6. OTHER REQUIREMENTS**

The Real Estate shall comply with all ~~Town City Ordinances (e.g., Zoning CodeUDO, Landscaping Ordinance, Parking Ordinance, Subdivision Control Ordinance)~~ in effect May 1, 2006 as of the date of adoption of this Ordinance, as applicable, except as provided or modified by this PUD Ordinance. The underlying zoning district shall be C2 Commercial.

## **SECTION 7. PROCEDURES.**

Improvements on the Real Estate that is the subject of this PUD Ordinance may be developed in phases over time. The adoption of this ordinance and the subsequent consideration of any detailed

~~and final development Plan shall be consistent and pursuant to the provisions of the Planned Unit Development process as set forth in Section 151.072 3.4.5 Planned Unit Development District of the Unified Development Ordinance.~~ A Development Plan for each building and phase of development shall be submitted to the City's general PUD Committee (the "Committee") for review and approval prior to the issuance of a building permit. Development plans shall be reviewed and approved based upon compliance with the development and design standards set forth herein. The grocery store shall substantially comply with the rendering attached hereto as "Exhibit C", and the fueling center/convenience store shall substantially comply with the rendering attached hereto as "Exhibit D"; provided, however, that the Committee shall have the discretion and flexibility, upon the request of the petitioner, to consider and approve modifications pertaining to any development and design standard established or referenced by this PUD Ordinance if the Committee determines such modifications are consistent with the intent of this PUD Ordinance.

## **SECTION 8. APPROVAL**

This ordinance shall be in full force and effect from and after its passage by the ~~Town~~ City Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.

*Note: Needs replacement with new legal descriptions and updated Exhibits.*

EXHIBIT "A"

LAND DESCRIPTION

CYNTHIANNE/SR238 SOUTHEASTERN PARKWAY  
FALLS CREEK PLANNED DEVELOPMENT



# Council Action Form

<b>MEETING DATE</b>	September 9, 2024			
<b>TITLE</b>	Consideration of a text amendment to the Fall Creek Marketplace PUD Ordinance #050106A to allow updates to the concept plan and the land use and development standards, generally located near the intersection of Southeastern Parkway and N. Cyntheanne Road. (TA-24-3)			
<b>SUBMITTED BY</b>	Name & Title: Ross Hilleary, Director of Planning & Zoning Department:			
<b>MEETING TYPE</b>	<input type="checkbox"/> Work Session <input type="checkbox"/> Executive	<input checked="" type="checkbox"/> Regular	<input type="checkbox"/> Special	<input type="checkbox"/> Retreat
<b>AGENDA CLASSIFICATION</b>	<input type="checkbox"/> Consent	<input checked="" type="checkbox"/> Ordinance	<input type="checkbox"/> Resolution	<input type="checkbox"/> Regular
<b>ORDINANCE/RESOLUTION</b> (New ordinances or resolutions are assigned a new number)	<input type="checkbox"/> 1 <sup>st</sup> Reading	<input type="checkbox"/> 2 <sup>nd</sup> Reading	<input type="checkbox"/> Public Hearing	<input type="checkbox"/> 3 <sup>rd</sup> Reading <input checked="" type="checkbox"/> Final Reading
	Ordinance #: 052024B		Resolution #:	
<b>CONTRACTS</b> (Contracts include other similar documents such as agreements and memorandum of understandings. <u>Check all applicable boxes pertaining to contracts</u> )	<input type="checkbox"/> Contract <b>required</b> for this item		<input type="checkbox"/> Signed copy of contract attached	
	<input type="checkbox"/> Seeking award or other scenario & <b>will provide contract</b> at a later date		<input checked="" type="checkbox"/> <b>No contract</b> for this item	
	<input type="checkbox"/> Contract <b>over</b> \$50,000  Please mark the box in the other column that pertains to this contract.		<input type="checkbox"/> Services <input type="checkbox"/> Capital Outlay <input type="checkbox"/> Debt Services	
<b>HAMILTON COUNTY</b> (Some documents need recorded by the City Clerk)	<input checked="" type="checkbox"/> Document <b>must</b> be recorded with the County Recorder's Office  <input type="checkbox"/> Wait 31 days <b>prior to</b> filing with the County Recorders' Office		<input type="checkbox"/> Document <b>does not need</b> recorded with the County Recorder's Office	

<b>APPROVALS/REVIEWS</b>	<input type="checkbox"/> Assistant/Deputy Department Head	<input type="checkbox"/> Controller's Office
	<input checked="" type="checkbox"/> Department Head	<input type="checkbox"/> Finance Committee
	<input type="checkbox"/> Deputy Mayor	<input type="checkbox"/> Technical Advisory Committee
	<input type="checkbox"/> Mayor	<input type="checkbox"/> Other:
	<input type="checkbox"/> Legal Counsel – <i>Name of Reviewer:</i>	
<b>BACKGROUND</b> (Includes description, background, and justification)	<p>This text amendment amends the Fall Creek Marketplace PUD (Ordinance 050106A)</p> <p>Abby Jacobs of Woolpert, Inc. requests a text amendment to allow updates to the concept plan and the land use and development standards for a proposed Meijer Grocery store, mExpress service station, and two commercial outlots.</p> <p>See Ordinance for additional details.</p>	
<b>BUDGETING AND FINANCIAL IMPACT</b> (Includes project costs and funding sources)	Budgeted \$:	N/A
	Expenditure \$:	N/A
	Source of Funds:	N/A
	Additional Appropriation #:	N/A
	<b>Narrative:</b>	N/A
<b>OPTIONS</b> (Include Deny Approval Option)	1. Hold Final Reading	
	2. Continue	
	3. Deny	
	4. Take no action	
<b>PROJECT TIMELINE</b>	<p>May 20, 2024 - 1st Reading &amp; Public Hearing - City Council          June 12, 2024 - Neighborhood Meeting (Brooks School Elementary)          June 13, 2024 - Neighborhood Meeting (Britton Falls Villa)          August 7, 2024 - Elevation Approval - PUD Committee          August 7, 2024 - Public Hearing - Plan Commission          September 9, 2024 - Proposed Final Reading - City Council</p>	
<b>STAFF RECOMMENDATION</b> (Board reserves the right to accept or deny recommendations)	Staff recommends that Council hold Final Reading and approved as presented.	
<b>SUPPLEMENTAL INFORMATION</b> (List all attached documents)	<p>1. Staff Report          2. Petitioner's Packet          3. Ordinance          4. Traffic letter</p>	



## ORDINANCE NO. 052024B

AN ORDINANCE OF THE COMMON COUNCIL OF THE CITY OF FISHERS, HAMILTON COUNTY, INDIANA, AMENDING THE TEXT OF THE OF THE FALL CREEK MARKET PUD ORDINANCE, ORIGINALLY ADOPTED ON OCTOBER 2, 2006, AS ORDINANCE NO. 050106A, AS FOLLOWS:

### SECTION 1. DECLARATION

That the text of the Fall Creek Market PUD, originally adopted on October 2, 2006, as Ordinance No. 050106A, which is part of the Unified Development Ordinance of the City of Fishers, Indiana, Ordinance No. 071618F, as amended (the "UDO"), is hereby amended as provided herein.

That the Zoning Classification of the following described Real Estate is hereby zoned as PUD-C and this ordinance shall hereinafter be referred to as the "Fall Creek Marketplace PUD Ordinance":

SEE "EXHIBIT A & A-1" ATTACHED HERETO.

### SECTION 2. PURPOSE AND INTENT

To create a neighborhood commercial district for property located northwest of the intersection of Southeastern Parkway and Cyntheanne Road through the adoption of development standards including architectural design and material standards to aesthetically enhance the commercial areas to be compatible with the surrounding residential neighborhoods.

### SECTION 3. LAND USE

- A. Grocery Store, which may include bakery, produce, pharmacy, alcohol sales, butcher/meat, floral and similar uses typically found in grocery stores, is permitted provided that no single occupancy may exceed eighty thousand (80,000) gross square feet for an anchor tenant. The 90,000 square foot limitation of the C-2 district shall not apply to the overall Fall Creek Marketplace PUD, provided overall development and individual structures are compliant with the Fall Creek Marketplace PUD concept plan.
- B. The following uses shall be permitted provided that no single occupancy shall exceed 5,000 square feet:
  - 1) Child Care Center
  - 2) Medical
  - 3) Medical Clinic
  - 4) Office
  - 5) Personal Services (Beauty/Hair Salon, Optometrist only)
  - 6) Restaurant (Excluding a bar, tavern, lounge)

- 7) One (1) Vehicle fuel sales/gas station and convenience store
- C. Any adult entertainment uses shall be prohibited.
- D. Package liquor sales shall be prohibited in gas stations/convenience stores or outlots.
- E. Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license.

**SECTION 4. CONCEPTUAL DEVELOPMENT PLAN**

The updated Concept Plan, attached hereto as "Exhibit B", is adopted as part of this ordinance. Adoption of the Concept Plan, however, does not constitute approval of any detailed and final development plans; such further approval is subject to the procedures set out in Section 7, below.

**SECTION 5. DEVELOPMENT STANDARDS**

Except as modified by this Fall Creek Marketplace PUD Ordinance, the development shall comply with the development, landscaping and parking standards of the Zoning Code of the City of Fishers.

**A. Bulk and Density Standards**

1) Building Setbacks

Minimum Front Yard	50'
Minimum Rear Yard	20'
Minimum Side Yard	20'

2) Lot Frontage

- a) Minimum lot frontage may be reduced to 75 feet for one individual outlot. All other lots shall meet the minimum standard of the UDO.

3) Lot Coverage

- a) Lot coverage shall not exceed seventy-five percent (75%) and is inclusive of buildings, parking area and other impervious surfaces, which results in an open space requirement of twenty five percent (25%) of the land area.

4) Building Height

- a) Buildings are restricted to thirty-six feet (36') maximum of two (2) stories (pitched roofs are measured as the mid-point).

- 5) A building on an outlot shall not be larger than 5,000 square feet and shall contain no more than four tenants.

**B. Landscaping**

- 1) The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) canopy trees five (5) evergreen trees and fifteen (15) shrubs per one hundred (100) lineal feet. Existing trees may count towards the requirement. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs

may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.

- 2) All new plantings shall be native.
- 3) Where required, street trees shall be provided at a ratio of one (1) canopy tree per fifty (50 feet). Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan.

### C. Architectural Standards

- 1) All structures within an individual PUD area shall be constructed with similar design, materials and compatible architecture.
- 2) All buildings shall screen all mechanical equipment including that which is mounted to the roof and/or ground.
- 3) The exterior of all buildings adjacent to residentially zoned areas or occupied shall consist of a brick, masonry, stone façade, or stucco or precast concrete materials with brick, stone or masonry surface appearance.
- 4) Facades that have greater than one hundred feet (100') in length, measured horizontally, shall incorporate wall plane projections, recesses, canopy's, or structural screen walls having a depth of at least eight feet (8') and extending at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed one hundred and fifty horizontal feet (150').
- 5) Where large retail structures contain additional, separately owned or leased stores that occupy less than twenty-five thousand (25,000) square feet of gross floor area and have separate, exterior customer entrances, the street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the building facade of such additional stores. Window requirements for the gas service station shall be reduced to forty percent (40%) percent of the horizontal length of the building façade and shall apply only to the primary entrance façade of the gas service station.
- 6) Building facades shall include a repeating pattern that includes no less than three (3) of the following elements:
  - a) Color change;
  - b) Texture change;
  - c) Material module change;
  - d) An expression of architectural or structural bays through a change in plane no less than twelve inches (12") in width, such as an offset, reveal or projecting rib.
- 7) Roof architecture
  - a) Roofs shall have some combination of the following features:
    - (1) All roof areas shall restrict rooftop equipment such as HVAC units from public view by extending the supporting wall or parapet. Such roof features shall contain three-dimensional cornice treatment,
    - (2) Overhanging eaves, extending no less than three feet (3') past the supporting

walls;

- b) Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height. Gasoline service canopies shall have masonry support pillars to support the gas station canopy.
- c) Office uses, separate retail tenants, single story and buildings of less than fifty thousand (50,000) square feet must have pitched roofs to be more residential in character. Notwithstanding, the permitted gasoline service station and its canopy shall be architecturally consistent with the primary grocery use and may have flat roofs.
- d) Flat roofs shall have architectural significance, such as different sections of flat roofs so the roof can be given articulation with different heights. The look of the building shall therefore be softened by the feel of the facade.

8) Materials and colors.

- a) Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, tinted/textured concrete masonry units or precast concrete materials with brick stone or masonry surface appearance.
- b) Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The use of high-intensity colors, metallic colors, black or fluorescent colors shall be prohibited.
- c) Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
- d) Exterior building materials shall not include smooth-faced concrete block, or prefabricated steel panels.

9) Entryways.

- a) Each retail establishment greater than twenty thousand (20,000) square feet shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
  - (1) Canopies or porticos;
  - (2) Overhangs;
  - (3) Recesses/projections;
  - (4) Arcades;
  - (5) Raised corniced parapets over the door;
  - (6) Varied roof forms;
  - (7) Arches;
  - (8) Architectural details such as tile work and moldings which are integrated into the building structure and design;
  - (9) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
- b) All building facades that are visible from public streets shall comply with the requirements of items (1) through (9).

10) Pedestrian circulation

- a) Sidewalks shall be a minimum of five (5) feet in width, however, where applicable, they shall be ten (10) feet in width asphalt in conjunction with the City Parks Plan and to integrate with neighborhoods. Sidewalks shall be provided along all sides

of the lot that abut a public street.

- b) Continuous internal pedestrian walkways, no less than eight feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of each retail building on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds and ground cover.
  - c) Sidewalks, no less than eight feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. In-ground or permanent planter boxes shall be provided in place of foundation planting along the outer edge of the sidewalk where they do not interfere with pedestrian access/connectivity to provide planting façade.
  - d) Internal pedestrian walkways provided in conformance with part b) above shall provide weather protection features such as awnings or arcades within thirty feet (30') of all customer entrances.
  - e) All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.
- 11) Trash receptacles shall not be located closer to the right-of-way than the primary building, except where the property has frontage along two property lines. Gates shall not face residential use properties; such requirement shall not apply to school-owned and used properties which may be zoned residential. Refuse compactor units located within the loading area shall be screened from adjacent properties or right-of-way along the edge of the loading dock area but shall not require gates to completely enclose the unit.
- 12) Outlot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.

#### D. Parking and Access

- 1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO.
- 2) Terminal planting beds may be eliminated adjacent to ADA accessible spaces.
- 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
- 4) Cart corrals shall be constructed of durable materials but may be moveable to facilitate parking lot clearing and maintenance.

#### E. Signage

- 1) A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign lighting and color modifications may be addressed as a part of this package.
- 2) The fuel pricing portion of the gas station sign may utilize digital changeable copy panels which remains static except for price changes, provided such signage does not exceed 25% of the overall sign, as measured per face.

#### F. Lighting

- 1) Lighting shall be limited to 0.5-foot candles at the property line. This requirement is exempt when adjacent to public right-of-way.
- 2) Light poles shall be limited to thirty feet (30') in height
- 3) Light fixtures may be decorative along the entrance drives and along public rights-of-way approved as part of the overall architecture, but overall site illumination into the atmosphere shall be restricted through the use of full cut-off fixtures.
- 4) Vehicle canopy lighting shall not exceed 40 foot candles in intensity. All lighting shall be recessed within the canopy structure.
- 5) Pedestrian lighting along the building façade may be satisfied through a combination of building and pole mounted lighting as detailed on the final lighting plan.

### **SECTION 6. OTHER REQUIREMENTS**

The Real Estate shall comply with all City Ordinances (e.g., UDO) in effect as of the date of adoption of this Ordinance, as applicable, except as provided or modified by this PUD Ordinance. The underlying zoning district shall be C2 Commercial.

### **SECTION 7. PROCEDURES.**

Improvements on the Real Estate that is the subject of this Fall Creek Marketplace PUD Ordinance may be developed in phases over time. A Development Plan for each building and phase of development shall be submitted to the City's general PUD Committee (the "Committee") for review and approval prior to the issuance of a building permit. Development plans shall be reviewed and approved based upon compliance with the development and design standards set forth herein. The grocery store shall substantially comply with the rendering attached hereto as "Exhibit C", and the fueling center/convenience store shall substantially comply with the rendering attached hereto as "Exhibit D & D-1"; provided, however, that the Committee shall have the discretion and flexibility, upon the request of the petitioner, to consider and approve modifications pertaining to any development and design standard established or referenced by this Fall Creek Marketplace PUD Ordinance if the Committee determines such modifications are consistent with the intent of this Fall Creek Marketplace PUD Ordinance.

## **SECTION 8. APPROVAL**

This ordinance shall be in full force and effect from and after its passage by the City Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.



052024B

COMMON COUNCIL OF THE CITY OF FISHERS,  
HAMILTON COUNTY, INDIANA

YAY

NAY

ABSTAIN

YAY		NAY	ABSTAIN
<i>Cecilia Coble</i>	Cecilia Coble, President		
<i>C. Pete Peterson</i>	C. Pete Peterson, Vice President		
<i>John Weingardt</i>	John Weingardt, Member		
<i>Brad DeReamer</i>	Brad DeReamer, Member		
<i>Selina Stoller</i>	Selina Stoller, Member		
<i>Todd Zimmerman</i>	Todd Zimmerman, Member		
<i>John DeLucia</i>	John DeLucia, Member		
<i>Tiffanie Ditlevson</i>	Tiffanie Ditlevson Member		
<i>Bill Stuart</i>	Bill Stuart, Member		

I hereby certify that the foregoing Ordinance/ Resolution was delivered to City of Fishers Mayor Scott Fadness on the 9th day of September 2024 at 7:30 p.m.

ATTEST: *Jennifer L. Kehl*  
Jennifer L. Kehl, Fishers City Clerk



MAYOR'S APPROVAL

*Scott A. Fadness*  
Scott A. Fadness, Mayor

SEPTEMBER 9, 2024  
DATE

MAYOR'S VETO

\_\_\_\_\_  
Scott A. Fadness, Mayor

\_\_\_\_\_  
DATE

This instrument prepared by: Lindsey Bennett, City Attorney, City of Fishers, Hamilton County, Indiana, One Municipal Drive, Fishers, Indiana, 46038

"I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law." Lindsey Bennett



EXHIBIT "A"

LAND DESCRIPTION  
FALLS CREEK PLANNED DEVELOPMENT

A PART OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 18 NORTH, RANGE 6 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SAID NORTHEAST QUARTER SECTION, WHICH CORNER IS COLLINEAR AND EQUIDISTANT FROM THE NORTHEAST AND SOUTHEAST CORNERS OF SAID QUARTER SECTION;  
THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, BEING A LINE CONNECTING AFORESAID POINT AND THE HARRISON MONUMENT FOUND AT THE WESTERLY QUARTER-CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 89 DEGREES 37 MINUTES 20 SECONDS WEST, A DISTANCE OF 60.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CYNTHEANNE ROAD CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING THE POINT OF BEGINNING;  
THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 792.62 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL DEDICATED PER INSTRUMENT NUMBER 2011044517, BEING A POINT ON THE NORTH LINE OF THE PARCEL PER INSTRUMENT NUMBER 9809816383;  
THENCE ALONG NORTH LINE OF SAID PARCEL PER INSTRUMENT NUMBER 9809816383, SOUTH 89 DEGREES 44 MINUTES 15 SECONDS WEST, A DISTANCE OF 260.45 FEET TO THE MOST EASTERLY CORNER OF RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500030733, NORTH 56 DEGREES 05 MINUTES 26 SECONDS WEST, A DISTANCE OF 609.05 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 61.58 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE WEST LINE OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 11.92 FEET TO THE NORTHEAST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 49.66 FEET FROM THE SOUTHEAST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500015467, NORTH 54 DEGREES 38 MINUTES 47 SECONDS WEST, A DISTANCE OF 340.77 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 59.12 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG A LINE PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 609.50 FEET TO A POINT ON A LINE 990.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31;  
THENCE ALONG SAID LINE, NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST, A DISTANCE OF 875.09 FEET TO THE NORTHWEST CORNER OF THE PARCEL PREVIOUSLY CONVEYED TO G. MELVIN FEATHERSTON PER DEED RECORD 323 PAGE 205;  
THENCE ALONG THE WEST AND SOUTH LINES OF SAID PARCEL, THE FOLLOWING TWO (2) COURSES:  
1) SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST ALONG A LINE PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 192.50 FEET;  
2) NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST ALONG A LINE PARALLEL TO THE NORTH LINE

OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 166.29 FEET TO THE NORTHWEST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, SAID POINT BEING 60.00 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31;

THENCE ALONG THE WEST RIGHT-OF-WAY LINE OF CYNTHEANNE ROAD, CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 153.42 FEET TO THE POINT OF BEGINNING;

CONTAINING 948,278 SQUARE FEET OR 21.769 ACRES, MORE OR LESS.

THE BASIS OF BEARINGS REFERENCED HEREON IS THE INDIANA STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83).

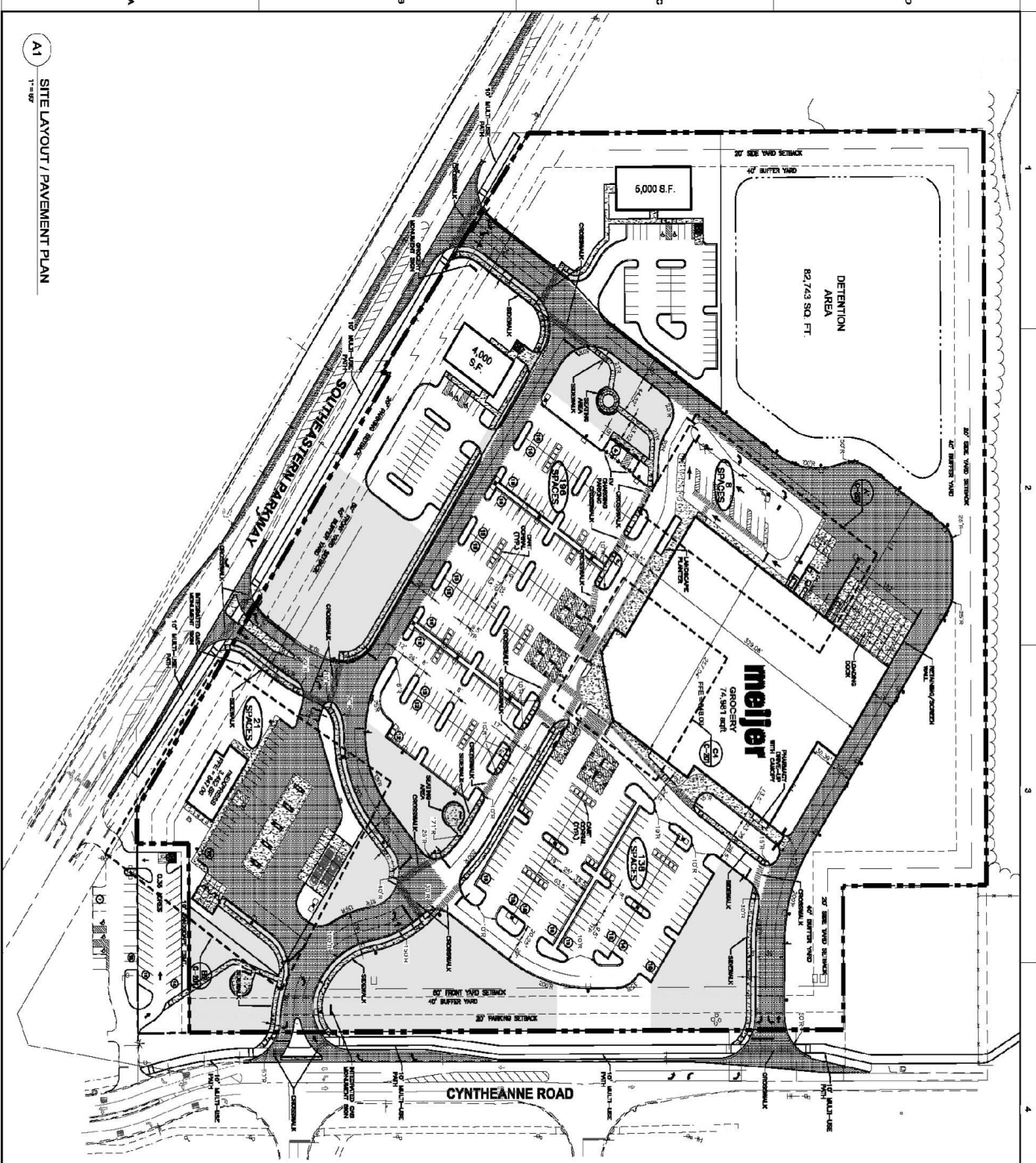




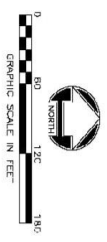
# EXHIBIT B

Images: EFS22605\_Dctc2024C530\_Lot39\_939469\_Lon-65.66157C\_Mpp0.269.jpg; EFS22605\_Dctc2024C530\_Lot39\_869409\_Lon-65.661570\_Mpp0.299.jpg; Xrefs: 100-5671-p.dwg; 10019671-x.dwg; 10019671-TELK.dwg; 10019671-SIT-NOTES.dwg  
 Layout Tab Name: C-200 SITE LAYOUT - PAVEMENT PLAN  
 Last Saved By: A.Ruebelman, 7/26/2024 11:28:59 AM  
 G:\DEV\Clients\Mejor\10019671 Mejor -SR, Fishers, IN\4.0 Disciplines\Civil\Cadd\Frelim\10019671SIT.dwg Plotted By: Ruebelman, Alicia Plotted: July 26, 2024, 11:29:24 AM

A1  
 1" = 100'  
 SITE LAYOUT / PAVEMENT PLAN



A4  
 1" = 100'  
 MULTI-USE PATH EXTENSION



**LEGEND**

	CONCRETE PAVEMENT		EXISTING BOUNDARY
	HEAVY DUTY ASPHALT PAVEMENT		PROPOSED BOUNDARY
	LIGHT DUTY ASPHALT PAVEMENT		PROPOSED SETBACK
	CURB TYPE TRANSITION		PROPOSED 12' OR MORE
	CURB TYPE		OTHER SPACE
	BARRIER FREE RAISED SPACE		ENCLOSED ACTIVE OPEN SPACE (100')
	BARRIER FREE RAISED SPACE		ENCLOSED ACTIVE OPEN SPACE (50,000 SQ. FT.)
	BARRIER FREE RAISED SPACE		ENCLOSED ACTIVE OPEN SPACE (10,000 SQ. FT.)
	LIGHT POLE		

- GENERAL NOTES**
- NO DIMENSIONS ARE TO BE TAKEN FROM UNCLERED MARKS TO THE DRAWING.
  - CONCRETE AND/OR ASPHALT DIMENSIONS ARE TO FACE, UNLESS SPECIFIED OTHERWISE.
  - EXISTING CURB TYPE TRANSITION SHALL BE MAINTAINED OR RECONSTRUCTED TO MATCH EXISTING CURB TYPE.
  - BARRIER FREE RAISED SPACES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE (IBC) AND THE 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).
  - REPAIR TO EXISTING CURB AND 6-8" INCH ASPHALT SHALL BE DONE TO MATCH EXISTING CURB AND ASPHALT.
  - THE CONCRETE SHALL BE SET TO THE FINISH ELEVATION TO MATCH EXISTING CONCRETE.
  - CONCRETE SHALL BE SET TO THE FINISH ELEVATION TO MATCH EXISTING CONCRETE.
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  - CONCRETE SHALL BE SET TO THE FINISH ELEVATION TO MATCH EXISTING CONCRETE.

PROJECT NO.	C-200
PROJECT NAME	MEJER STORE FSR
CLIENT	MEJER
DATE	7/26/2024
DESIGNER	ARS
CHECKER	ARS
DATE	7/26/2024

MEJER STORE FSR  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

SITE LAYOUT / PAVEMENT PLAN

REV.	DATE	DESCRIPTION

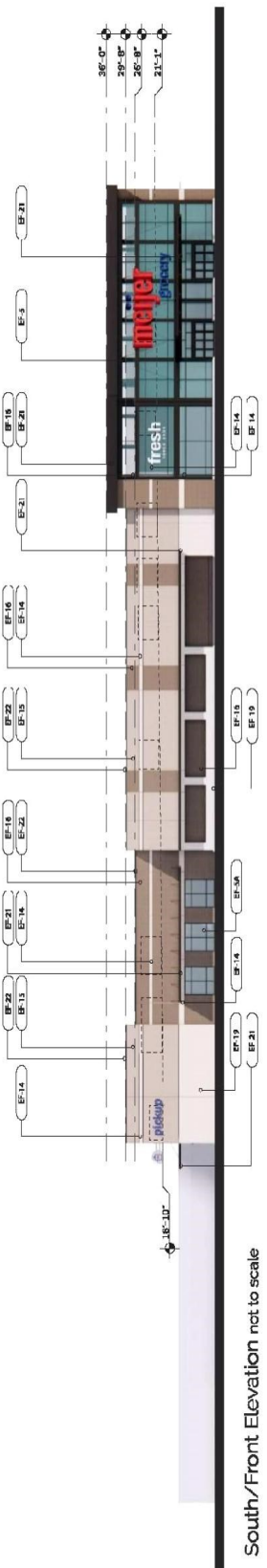


**WOLPERT**  
 ARCHITECTS  
 4641 Iola Center Boulevard  
 Dayton, OH 45424  
 937.491.5830

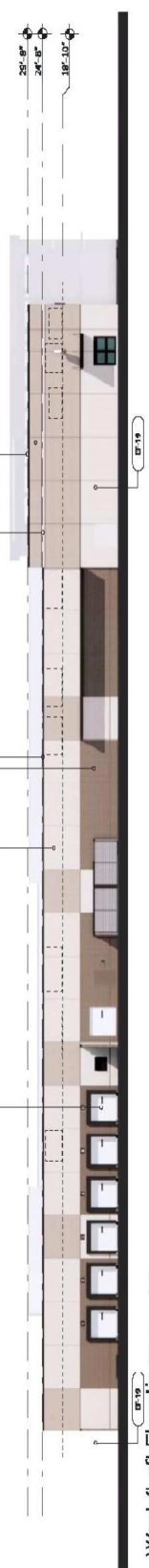
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GLAZIUM GLASS - CRYSTAL		DARK BRONZE ANODIZED ALUMINUM
EF-5A	STOREFRONT GLASS PANEL WITH CRYSTAL GRAY SINGR AND WARM GRAY SPANDREL PANEL		WARM GRAY
EF-6	INSULATED PRECAST CONCRETE WALL - SECTIONAL OVERHEAD DOORS		WHITE
EF-14	INSULATED PRECAST CONCRETE WALL - VERTICAL LINE/VERTICAL STANDING SEAMS	RECOLL FORMLINER 2775	SW 7039 TONY TAUPE
EF-15	INSULATED PRECAST CONCRETE WALL - VERTICAL LINE/VERTICAL STANDING SEAMS	AP FORMLINER MODULAR BRICK - YELLOW R107A	SW 7026 GRIFFIN
EF-16	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED	AP FORMLINER MODULAR BRICK - YELLOW R107A	SW 7026 GRIFFIN
EF-19	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED	AP FORMLINER MODULAR BRICK - YELLOW R107A	SW 7042 SHOJI WHITE
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-25	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7042 SHOJI WHITE
EF-36	CONCRETE PLANTER		CLASSIC IN PLACE CONCRETE PLANTER

\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
 \*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*

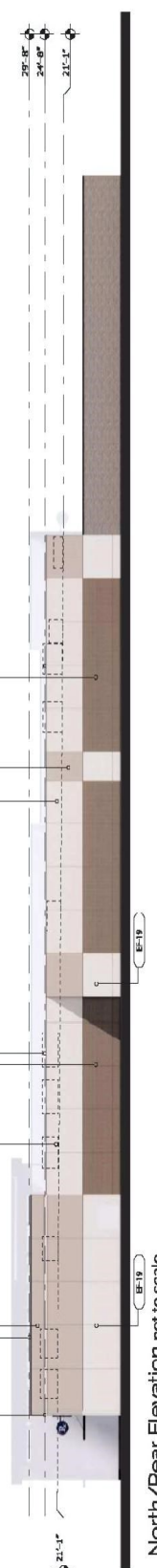
# EXHIBIT C



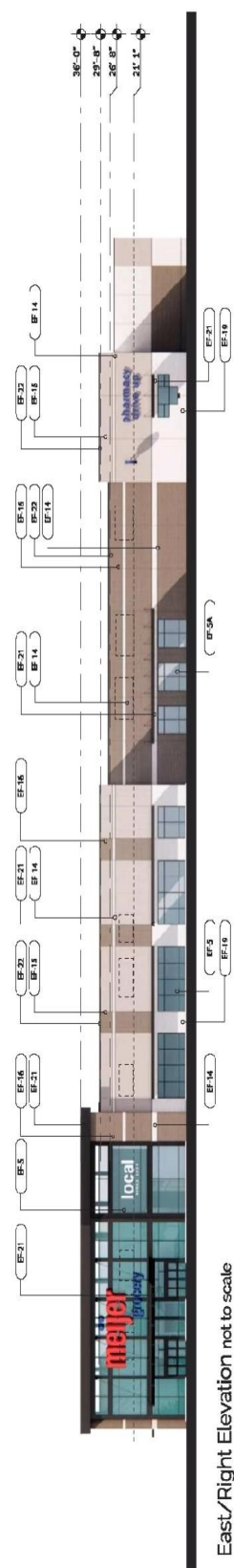
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West/Left Elevation not to scale



North/Rear Elevation not to scale



East/Right Elevation not to scale

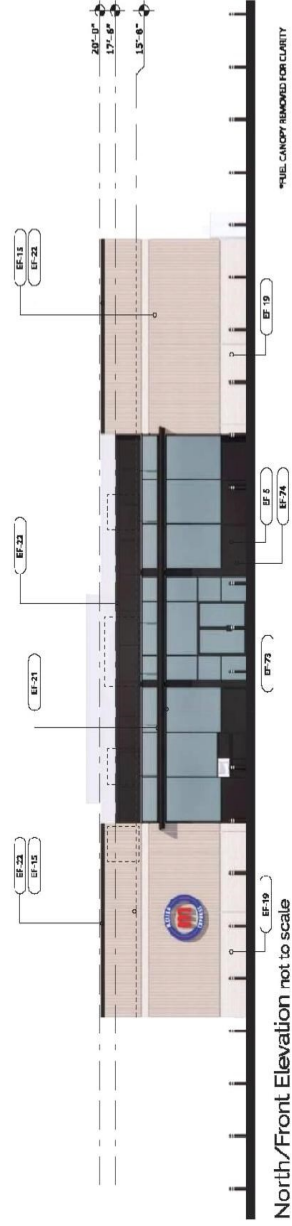


RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND CORNER FRAMES 1" INSULATED GLAZING GLASS - CRISTAL GRAY S1668	—	DARK BRONZE RED ALUMINUM
EF-8	SECTIONAL OVERHEAD DOORS	—	WHITE
EF-14	INSULATED PRECAST CONCRETE WALL - PAINTED	—	SW 7555 PATIENCE
EF-15	INSULATED PRECAST CONCRETE WALL - VERTICAL LINE/VERTICAL STANDING SEAMS	REGOL FORMLINER 275 KOC-HER	SW 7038 TONY TAUBE
EF-17	INSULATED PRECAST CONCRETE WALL	AP FORMLINER #110	SW 7036 GRIFFIN
EF-19	INSULATED PRECAST CONCRETE WALL	AP FORMLINER MODULAR BRICK VELOUR F101A	SW 7042 SQUAWHITE
EF-20	BRICK IMPRINTED	—	DARK BRONZE
EF-21	CANOPY FLASHING AND TRIM - EDGE SHEET METAL FLASHING AND TRIM - EDGE	PAC CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC CLAD	DARK BRONZE
EF-23	FIELD PAINTED STEEL FRAME WINDOW METAL DOORS FLASHING AND DOWNPOUTS	SHERWIN WILLIAMS	SW 7042 SQUAWHITE
EF-32	SHEET METAL FLASHING AND TRIM - COPINGS, GUTTERS AND DOWNPOUTS	PAC CLAD	SW 7036 GRIFFIN
EF-40	FUEL ISLAND CANOPY COLUMNS	SHERWIN WILLIAMS	SW 6510 LOVAL BLUE
EF-71	FUEL ISLAND CANOPY GROUND FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY GROUND FILM	ALPOLIC	SUG GREY
EF-73	FIELD PAINTED METAL SECTION	SHERWIN WILLIAMS	SW 7036 GRIFFIN
EF-74	METAL PANEL	ALPOLIC	TO MATCH
EF-81	EXTERIOR INSULATED FINISH SYSTEM	—	"DARK BRONZE" SW 7036 GRIFFIN

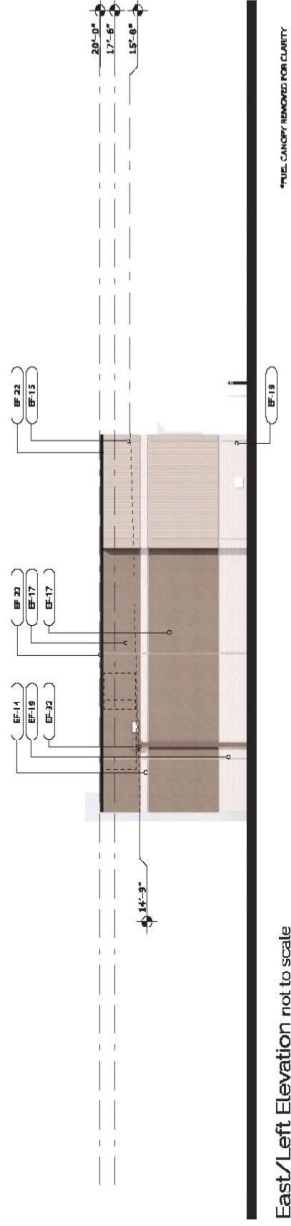
\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
\*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*

# EXHIBIT D

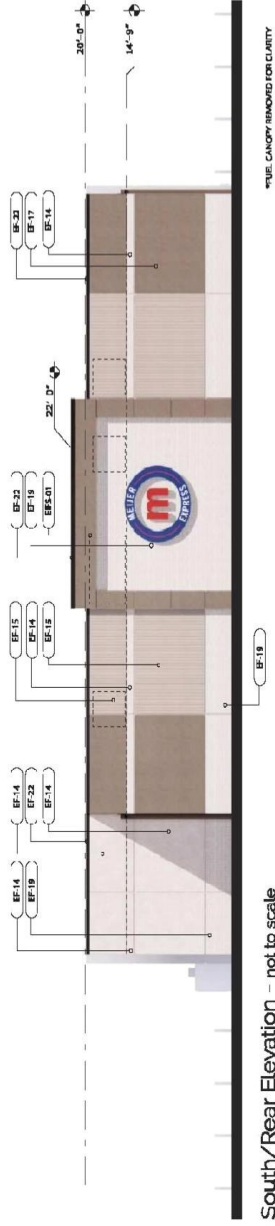
\*ROOF LINE SHOWN DASHED\*



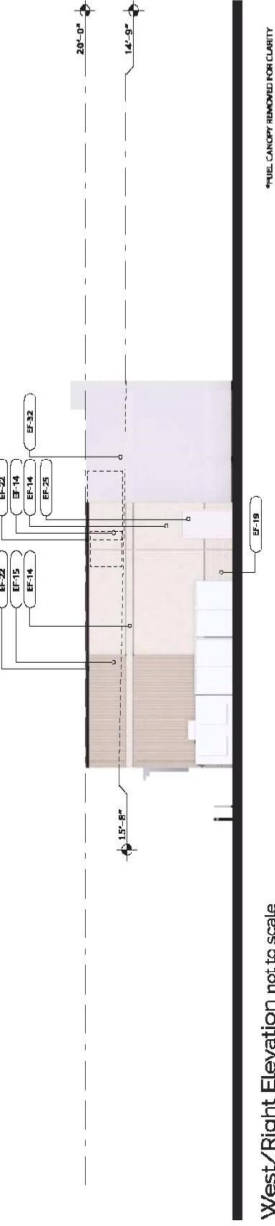
North/Front Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation - not to scale



West/Right Elevation not to scale

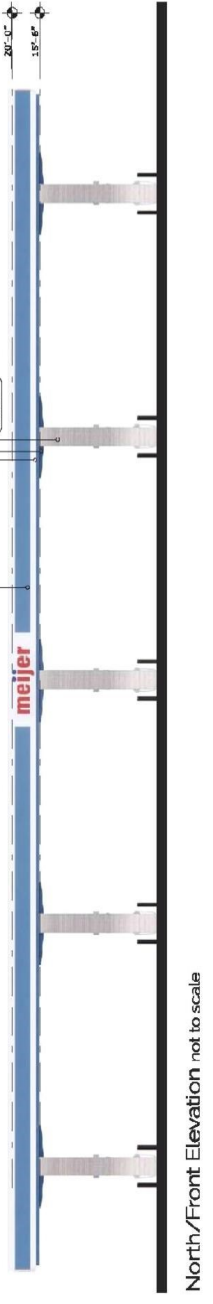


**Meijer** mExpress Building & Canopy Elevations  
FIBERSH, INDIANA

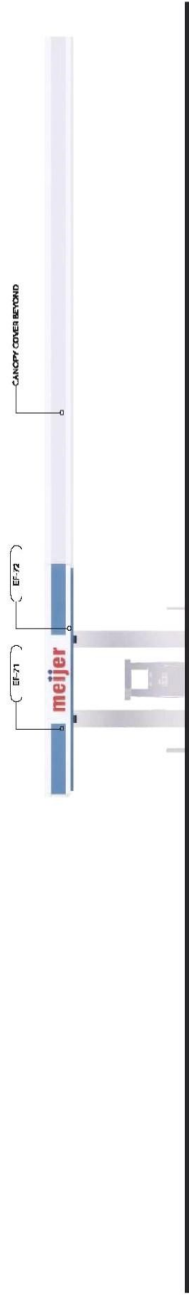
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RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-40	FUEL ISLAND CANOPY STRUCTURE	SHERWIN WILLIAMS	SW 6510 LOVAL BLUE
EF-71	FUEL ISLAND CANOPY PANEL	ALUFOLC	SPRINKLE 177
EF-72	FUEL ISLAND CANOPY FINISH	ALUFOLC	SPRINKLE 177
BR-01	FUEL ISLAND COLUMN FINISH	THIN BRICK	TO MATCH SW7042 SPRINKLE WHITE

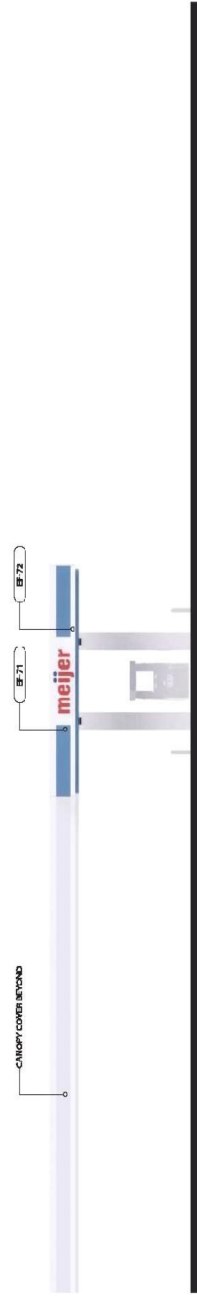
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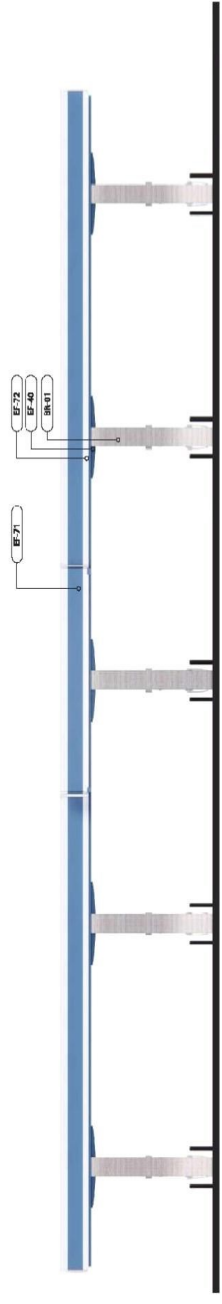
North/Front Elevation not to scale



West/Right Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation not to scale



# City Council Staff Report

Meeting Date: September 9, 2024

**DEPARTMENT CONTACT:**

Gabrielle Herin ([hering@fishers.in.us](mailto:hering@fishers.in.us))

**CASE NUMBER:**

TA-24-3

**PETITIONER:**

Abby Jacobs ([abby.jacobs@woolpert.com](mailto:abby.jacobs@woolpert.com))  
 Tim Ochs ([timothy.ochs@icemiller.com](mailto:timothy.ochs@icemiller.com))

**PROPERTY ADDRESS/LOCATION:**

Generally located near the northwest intersection of Southeastern Parkway and N. Cyntheanne Road

**REQUEST:** Consideration of a text amendment to the Fall Creek Marketplace PUD Ordinance #050106A to allow updates to the concept plan and the land use and development standards, generally located near the intersection of Southeastern Parkway and N. Cyntheanne Road. (TA-24-3)

<p><b>APPLICABLE REGULATIONS:</b> Fall Creek Marketplace PUD</p>	<p><b>EXISTING ZONING:</b> PUDC (Fall Creek Marketplace PUD)</p>	<p><b>FISHERS 2040:</b> Neighborhood Mixed Use</p>
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**Lot Size:** 21.66 Acres

**LOCATION MAP**



**STAFF RECOMMENDATION**

- Favorable Recommendation     
  Unfavorable Recommendation     
  No Recommendation



## ZONING OVERVIEW

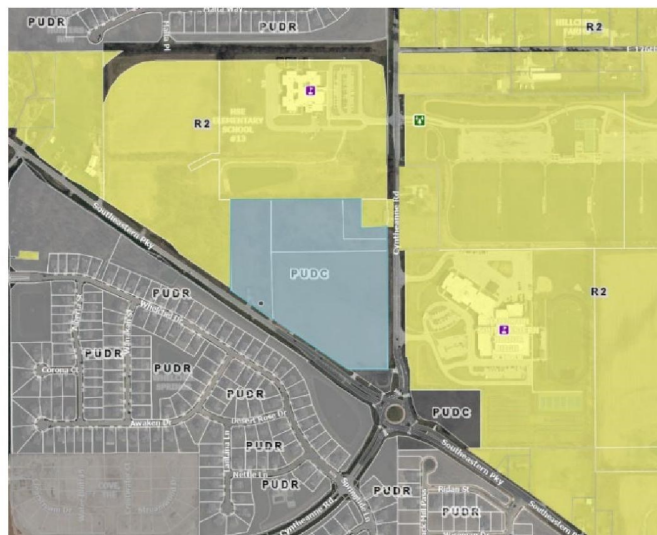
The property is currently zoned PUDC under the Fall Creek Marketplace PUD Ordinance #050106A).

North: R2 - Residential (School)

South: PUDR, Whelchel Springs (Single Family Residential)

East: R2 - Residential (School, Park)

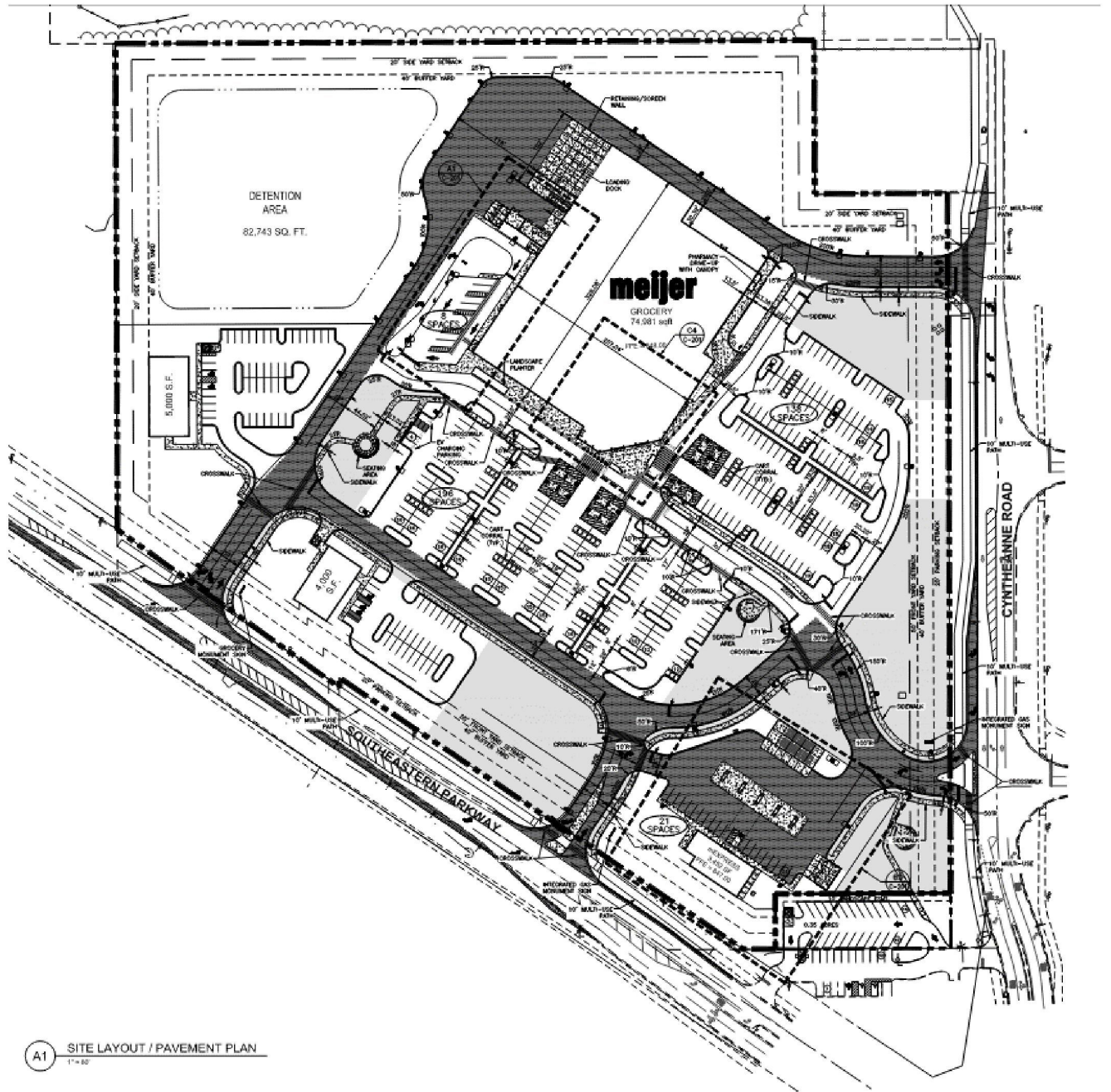
West: R2 - Residential (Single Family Residential)



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## PETITION OVERVIEW

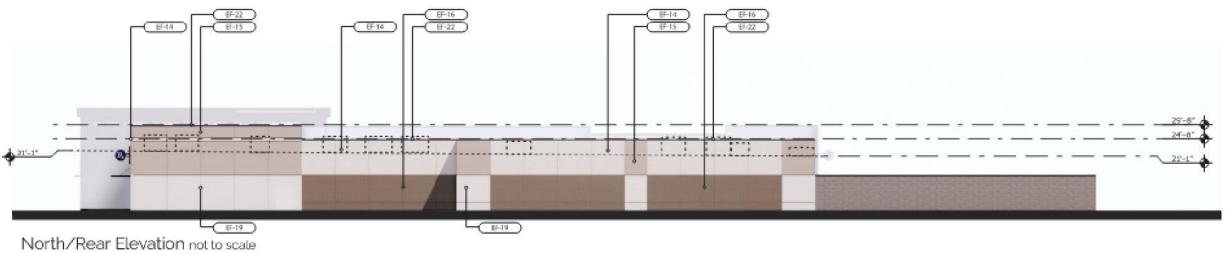
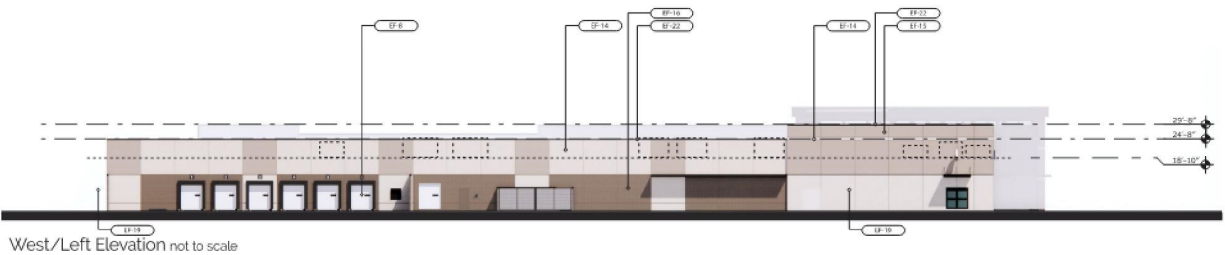
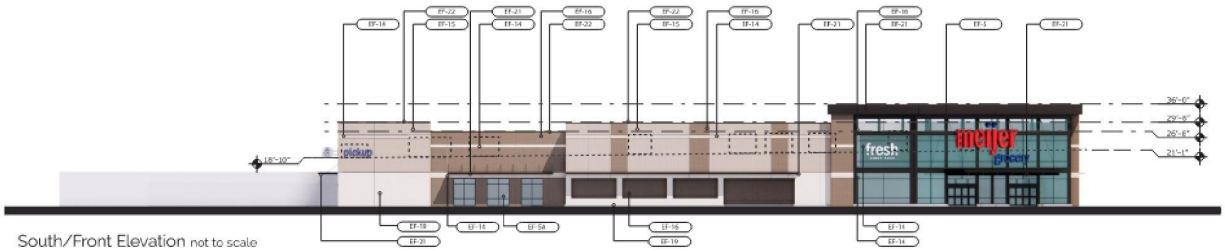
The petitioner is requesting to amend the Fall Creek Marketplace PUD to allow updates to the concept plan and the land use and development standards including up to an 80,000 square feet grocery store, a reduction to two commercial out lots, and to maintain a single vehicle fuel sales and a convenience store. These uses and standard changes would apply only to the properties at the northwest corner of Southeastern Parkway and Cyntheanne Road. This text amendment will also approve the concept plan and proposed elevations of the grocery store, vehicle fuel sales, and convenience store. Out lots would be required to come before PUD Committee in the future for architectural approval.



*Proposed Concept Plan. This concept plan will not dictate right-of-way access as all access points must be approved by the Board of Public Works & Safety.*

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**Meijer Elevations:**

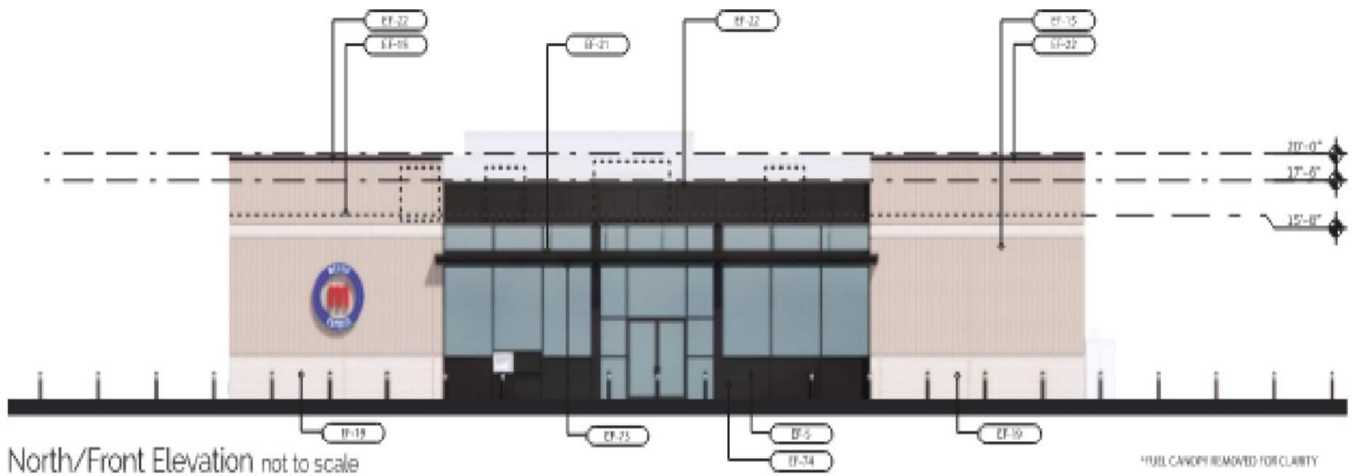




TA-24-3

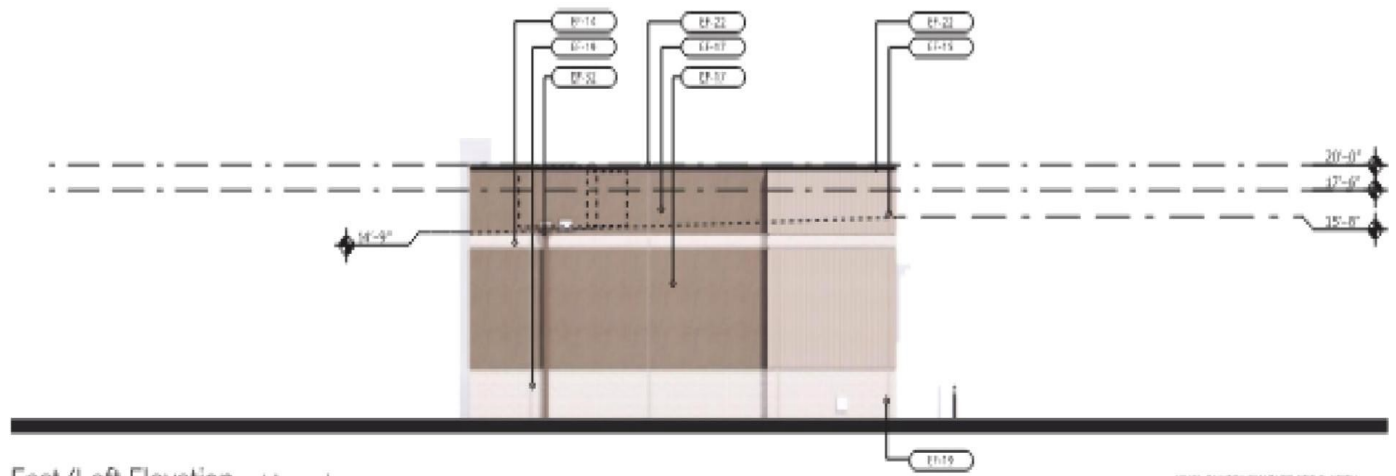
September 9, 2024

**mExpress Building Elevations:**



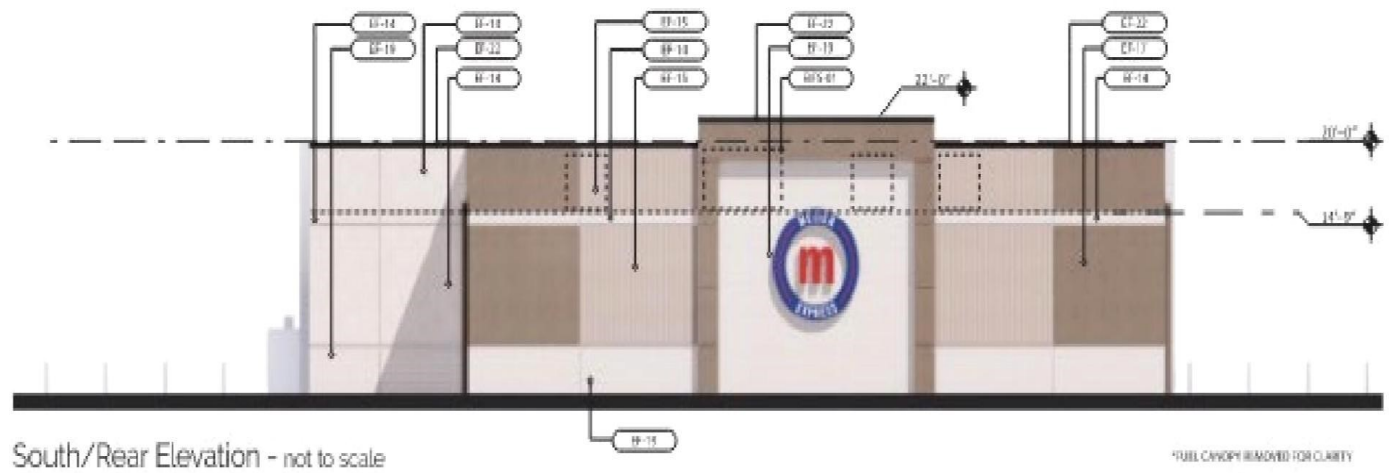
North/Front Elevation not to scale

\*FUEL CANOPY REMOVED FOR CLARITY



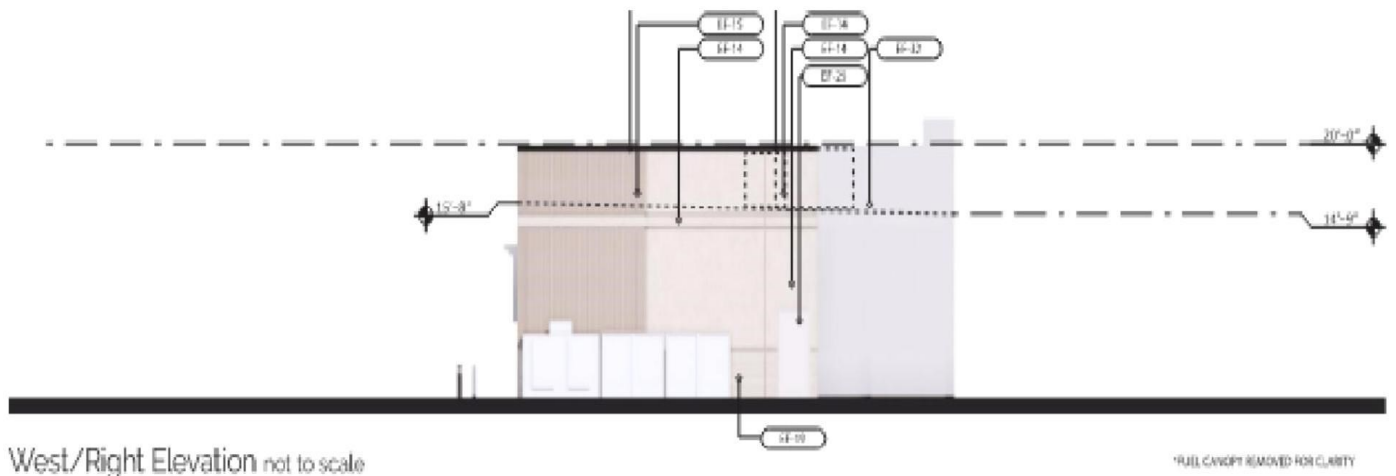
East/Left Elevation not to scale

\*FUEL CANOPY REMOVED FOR CLARITY



South/Rear Elevation - not to scale

\*FUEL CANOPY REMOVED FOR CLARITY



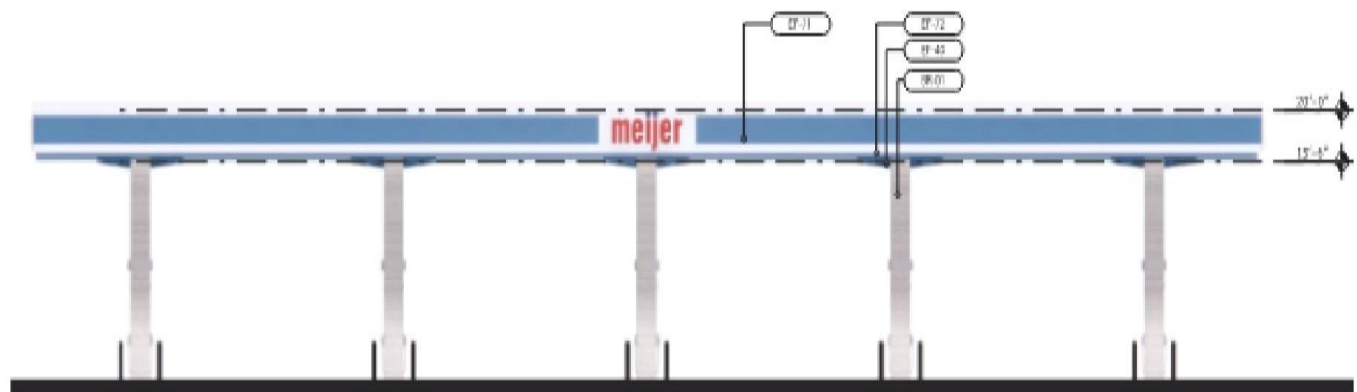
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\*FUEL CANOPY REMOVED FOR CLARITY

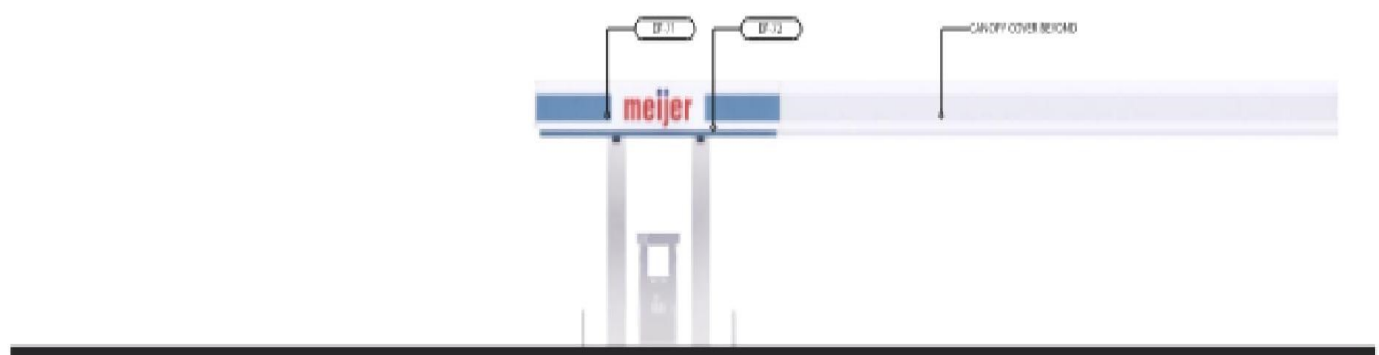
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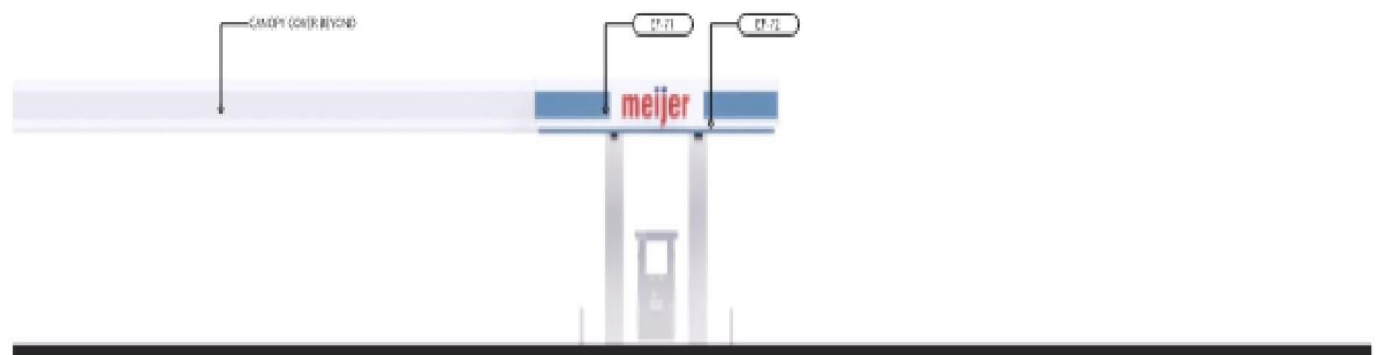
**mExpress Canopy Elevations:**



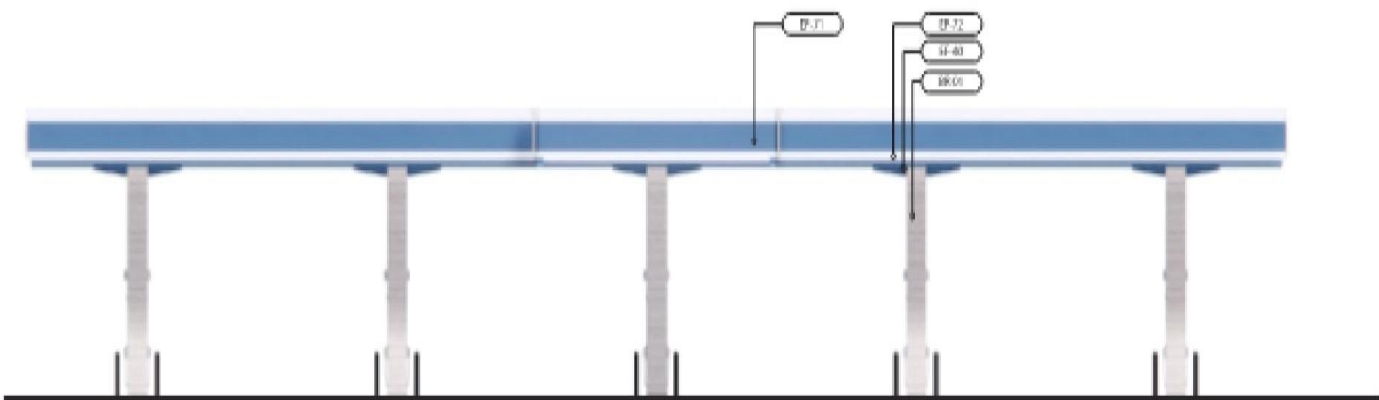
North/Front Elevation not to scale



West/Right Elevation not to scale



East/Left Elevation not to scale



South/Rear Elevation not to scale

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*Aerial perspective from the intersection of Southeastern Parkway and Cyntheanne Road*



*Aerial perspective from Southeastern Parkway*



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*Entry perspective*



*Receiving dock perspective*

**Proposed PUD Changes**

Below is a table summarizing the primary proposed changes to the Fall Creek Marketplace PUD (Ordinance # 050106A). The existing language is compared to the proposed.

Fall Creek Marketplace PUD Ord. No. 050106A	Fall Creek Marketplace PUD Text Amendment
<b>Anchor Store</b>	<b>Anchor Store</b>
No Single Occupancy may exceed 65,000 gross square feet for an anchor tenant	No Single Occupancy may exceed 80,000 gross square feet for an anchor tenant
Provided the anchor tenant has a minimum of two (2) separate and distinct customer entrances across the front of the building	<del>Provided the anchor tenant has a minimum of two (2) separate and distinct customer entrances across the front of the building</del>
N/A	Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license
Buildings are restricted to thirty-five feet (35')	Buildings are restricted to thirty-six feet (36')
<b>Landscaping</b>	<b>Landscaping</b>
N/A	The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) trees and fifteen (15) shrubs per one hundred (100) lineal feet. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.
N/A	All new plantings are to be native
N/A	Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan
<b>Architecture</b>	<b>Architecture</b>
(3) Three or more roof slope planes." AND "No more than fifty percent (50%) of the roof shall be flat unless the roof has an architectural addition	<del>(3) Three or more roof slope planes." AND "No more than fifty percent (50%) of the roof shall be flat unless the roof has an architectural addition</del>
Gasoline service station canopies shall have pitched roofs	Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height and gasoline service canopies shall have masonry support pillars to support the gas station canopy

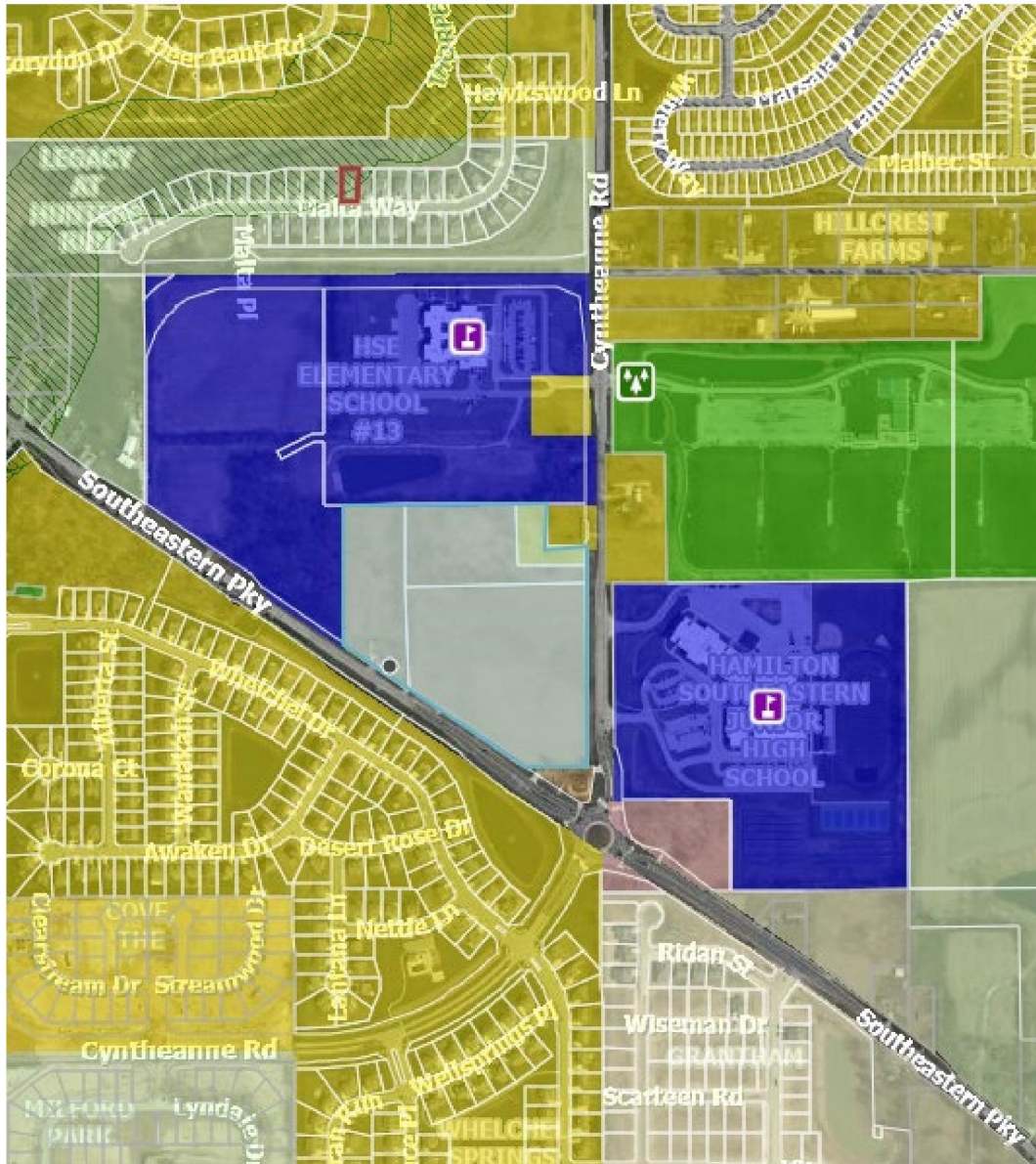


Exterior building materials included examples such as brick, limestone, other native stone and tinted/textured concrete masonry units	Added that exterior building materials may be precast concrete materials with brick stone or masonry surface appearance
Exterior building materials shall not include smooth-faced concrete block, tilt up concrete panels or prefabricated steel panels	Exterior building materials shall not include smooth-faced concrete block, <del>tilt up concrete panels</del> or prefabricated steel panels
Peaked roof forms	Varied roof forms
<b>Trash</b>	<b>Trash</b>
Trash removal, compaction, service vehicles, deliveries, parking lot sweepers, etc. shall not be permitted between the hours of 12:00 midnight and 6:00 a.m. with the exception of snow removal	<del>"Trash removal, compaction, service vehicles, deliveries, parking lot sweepers, etc. shall not be permitted between the hours of 12:00 midnight and 6:00 a.m. with the exception of snow removal"</del>
<b>Out Lots</b>	<b>Out Lots</b>
N/A	Out lot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.
Limited to C1 and C2 Uses	Limited to C2 Uses as follows: Child Care Center, Medical, Medical Clinic, Office, Personal Services (Beauty/Hair Salon, Optometrist only), Restaurant (Eating Establishment only)
<b>Parking / Driveway</b>	<b>Parking / Driveway</b>
N/A	"1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO. 2) "Terminal planting beds may be eliminated adjacent to ADA accessible spaces. 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
<b>Signage</b>	<b>Signage</b>
All wall signage shall be reverse channel letter neon or externally lit individual letter signs. All other signage requirements shall be in conformance with the Fishers Sign Code	<del>All wall signage shall be reverse channel letter neon or externally lit individual letter signs. All other signage requirements shall be in conformance with the Fishers Sign Code.</del>
N/A	A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign

	lighting and color modifications may be addressed as a part of this package. The fuel pricing portion of the gas station sign may utilize digital changeable copy.
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**Fishers 2040:**

The Fishers 2040 plan lists the future land use as Neighborhood Mixed Use.





**SUMMARY OF NEIGHBORHOOD MEETINGS AND PUBLIC COMMENTS:**

Two neighborhood meetings were held by the petitioner for the project.

- June 12 at 7 PM, Brooks School Elementary School (All Neighborhood Meeting)
- June 13 at 7 PM, Britton Falls Villa (Exclusively for Britton Falls residents)

Staff received approximately 90 comments from the public as of July 25. There are summarized and attached.

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**STAFF RECOMMENDATION:**

Staff had no recommendation to Plan Commission for this request to amend the Fall Creek Marketplace PUD to allow updates to the concept plan and the land use and development standards including up to an 80,000 square foot grocery store, a reduction to two commercial out lots, and to maintain a single vehicle fuel sales and a convenience store.

When making their decision, Plan Commission shall be reasonable regard to:

1. The Comprehensive Plan;
2. Current conditions and the character of structures and uses in each zoning district;
3. The most desirable use for which the land in each zoning district is adapted;
4. The conservation of property values throughout the jurisdiction; and
5. Responsible development and growth.

Staff had no recommendation for Plan Commission. If approved by the Plan Commission, staff recommended the following conditions:

1. Buffer Yards Standards (Large), including along Southeastern Parkway and Cyntheanne Road meet City's standard of 6 canopy trees, 5 evergreens and 15 shrubs per 100 feet.
2. The proposed concept plan and architecture be approved by the PUD Committee.

Plan Commission sends a favorable recommendation (7-0) to Council.

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**STAFF RECOMMENDATION**

Favorable Recommendation       Unfavorable Recommendation       No Recommendation

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**Exhibit A**

Below is a summary of public comments received by residents in nearby neighborhoods. The comments have been divided by overall tone of positive or negative. The number adjacent to the comment represents the number of times the comment was mentioned.

**Meijer Grocery Public Comments - Positive**

- Need/want grocery store close by – 17
- Convenient – 11
- Too far to grocery store now – 9
- Traffic issues stem from new housing developments, not Meijer Grocery – 6
- Want more choices in grocery stores – 6
- Kroger on Olio Rd not convenient with traffic/dangerous – 4
- Grocery store has good prices/service/quality – 3
- Meijer is close by – 3
- Excited for Meijer – 2
- Asset/Amenity – 2
- Only food store – 2
- More than 300 Britton Falls residents came to neighborhood meeting and most are in favor – 2
- Too many homeowners nearby who need grocery store – 2
- Need gas station close by – 2
- Northeast Fishers needs more grocery stores – 2
- Survey of residents showed 75% support, may be more since only 25% of homes responded – 2
- Top tier gas – 2
- Saves on gas for nearby residents – 2
- Can walk/ride bike to grocery store with Meijer – 2
- Saves the environment – 2
- 6 miles to closest grocery and gas station
- Helpful pick-up and delivery options
- Would like an EV charging station
- # of cars reduced in nearby roundabouts and roads
- Perfect location
- Can avoid school traffic by not going to grocery store then
- Company has good, quality products
- Good size grocery store
- Few resources to support housing
- Restores balance between commercial and residential
- No concern with its proximity to schools

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- Neighborhood of over 1200 homes to the east and south of Britton Falls may support it as well
- Traffic will not affect Britton Falls as Meijer is not directly across from community
- Meijer execs answered all questions
- Convenient to have drive thru pharmacy
- Kroger too crowded/shelves empty
- Will be more traffic regardless of use
- Available roads and stores too crowded
- Original plans always had grocery store at corner of Cyntheanne and Southeastern 1
- Would rather a commercial use that will benefit many
- Southeastern Pkwy can handle more traffic than 136<sup>th</sup> Street
- Grocery store closer will eliminate current traffic on Olio
- Only 38% of residents oppose Meijer
- Need another pharmacy
- Traffic reduction
- Provides new jobs and opportunities
- Increased traffic and close proximity to schools can be mitigated
- Other grocery stores are near schools
- Proximity issues resolved in Fishers
- Traffic study completed showing good access to Meijer
- Deliveries do not require use of roundabout
- Supports use if concerns on traffic along Southeastern Parkway and Cyntheanne Road can be addressed
- Will benefit Britton Falls and nearby communities

#### **Meijer Grocery Public Comments - Negative**

- Increased traffic – 25
- Not residential in nature/does not fit character of area/not suitable for location – 20
- Safety – 17
- Need new schools/School should be located there - 11
- Move closer to 69 – 10
- Other grocery stores/gas stations nearby – 10
- Reduction in home values – 10
- Current infrastructure inadequate – 9
- Will ruin Schoolhouse – 8
- Intrusive lighting – 7
- Overcrowded schools – 7
- Impacts to the adjacent School-general – 5
- Reduction in standard of living – 5
- Truck traffic – 5
- Noise – 4
- Higher crime/strain on emergency responders – 4

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- Overdeveloped Area – 3
- Move near Culvers – 3
- Road deterioration/more maintenance – 3
- Reduces area's peace – 3
- Concerns over Schoolhouse 7 – 2
- People speed through area/neighborhood (Whelchel Springs) – 2
- Unsightly View – 2
- Move closer to other businesses – 2
- Wants daycare – 2
- Local grocery store with smaller footprint – 2
- Meijer not needed – 2
- Build it elsewhere – 2
- Concerned about alcohol sales – 2
- Concerned about truck and delivery traffic hours – 2
- Reduce number of trips to grocery store – 2
- People cut through neighborhood to get to Southeastern
- Rather have restaurants w/ playground
- No positive comments on street in Whelchel Springs
- Reduces beauty
- Eye sore
- Move to place that can handle traffic with right infrastructure
- Roundabouts do not slow traffic
- Precedent Setting
- No communication via mail
- Fishers financial benefit?
- No one wants the grocery store
- Original footprint of planned grocery store (65,000 sq ft) better
- Will be used by Fortville and Pendleton residents
- Wrong use of tax dollars
- Wants smaller business center
- No discussion of elevations in neighborhood meeting
- Concerned about headlight glare directed at homes
- Concerned about number of parking spots
- Will be no more fertile land
- Fishers' park like area will be replaced by retail desert
- Visited Meijer Grocery in Noblesville
  - Concerned with width of roads/traffic lights near Meijer
  - Concerned with differences between nearby uses of Noblesville and Fishers Meijer Grocery
  - Towers over desert like Parking lot, which is huge and ugly
  - Not very much landscaping, except those on CVS property



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- Concerned existing trees will be removed and that there is not enough landscaping
- Concerned with site plan
- Presentation lacked information and actual photos from existing Neighborhood markets in neighborhood meeting. Additionally lacked pictures of nearby schools, businesses and homes
- Too many taxes
- Safety, not increased traffic and pollution
- Concerned with gas station hours of operation
- Concerned about possible store expansion
- Concerned with double the parking at C-store
- Concerned about the uses of the two outlots
- Concerned there is room for future additional outlots
- Would like an 8 feet landscaping berm with three layers of bushes and large trees
- Would like a visual sound barrier along Southeastern
- Would like more parks recreation and place to enjoy family time and education
- Concerned about the accuracy of the traffic study
- Concerned about number of retail entrances/exits along SE Parkway and Cyntheanne
- Kroger on Olio is easy to get to from Britton Falls
- Would like road improvements first
- Air pollution and trash
- Stop destroying land and trees remaining
- No full service pharmacy
- No pet supplies/pet food area
- Concerned that Cyntheanne Rd will not be widened
- Wants more housing instead
- Will impact quiet neighborhood
- Concerned there will be requests to rezone outlots
- Concerned there will be a 24 hour grocery store and convenience store
- Too many gas stations, need for gas is decreasing
- Would like area dedicated to parks and recreation with EV stations
- Will additional stop lights be needed
- Will increased police traffic control coverage be needed when school starts/ends
- Will Fishers need additional funds to build another fire station
- Will Fishers have to contribute funds to widen roads to four lanes plus a fifth turn lane on Southeastern and Cyntheanne in all directions.
- Will Fishers have to install raised cross walks for pedestrians like on 126th street.
- How will we insure the safety of our 2000 school students (across and up the street from Meijer). There will be a percentage crossing the street to go to the Meijer complex. There are no pedestrian cross walks in the proposal. The current cross walks at the traffic circle are too dangerous to cross four lanes. The raised landscaping blocks partial traffic visibility for pedestrian visibility.

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- Has Meijer contacted adjacent owners for possible future expansion





July 31, 2024

Ross Byers  
Meijer

Mr. Byers,

Per your request, I have reviewed again the driveway access points with A&F Engineering at the Meijer located at the intersection of Cyntheanne Road and Southeastern Parkway. The following conclusions and recommendations are based on the operational characteristics of the access points along with the data provided by Woolpert Consultants in their Traffic Study.

*Cyntheanne Road, North Site Driveway #4* – After a review of this access point, full turning movement access will be allowed with appropriate auxiliary lanes.

*Cyntheanne Road, South Site Driveway #3* – As proposed, this driveway is to be right-out-only access. The median for the roundabout shall be extended north past the opening of the right-out-only access point. The purpose will be to ensure the school access remains a full-movement access and will eliminate vehicles traveling north to make a U-turn to access Site Driveway #3. This will improve the operational characteristics of the access point and ensure safe and efficient movement for both the school and Meijer access points.

*Southeastern Parkway, Site Driveway #2* – The purpose of the right-in-only access is to ensure safe and efficient movement into the site. The west access point, Site Driveway #1, can manage the vehicles entering and exiting the site as presently proposed and right-in-only is preferred. However, if a right-in / right-out access is requested, the continuous right turn lane (which will function as an acceleration / deceleration lane for Site Driveway #1 and Site Driveway #2) shall be required. In addition, in order to make Site Driveway #2 right-in / right-out-only, the continuous median along Southeastern Parkway shall be installed, and therefore, no left-turn will be allowed.

*Southeastern Parkway, Site Driveway #1* – As currently planned, this access point shall be limited to a right-in / right-out / left-in-only access. The left-out movement is eliminated for operational purposes of the intersection. The Level of Service Analysis performed by Woolpert Consultants has shown that the Southbound left performs at a very low level of service. Therefore, the left-turn out at this driveway has been eliminated. The internal roadways and access points provide good access to allow internal trips to maneuver to the access points along Cyntheanne Road to safely exit the site.

These recommendations have been made based on operational characteristics of the access points, the proximity of the school drives, and the fact that as proposed, they will perform at an acceptable Level of Service for vehicles to enter and exit the sites.

If you have any questions, please contact me.

Hatem Mekky, P.E., MSCE



# Response to Meijer Grocery FSR – TA-24-3 Resubmittal Comments

**To:** City of Fishers Planning and Zoning Department

**From:** Abby Jacobs, PE, LEED AP

**Date:** July 26, 2024

This response is to the review comments received from the City of Fishers Planning and Zoning Department on 5/30/2024.

## Text Amendment

1. Impact fees will be assessed as part of the Improvement Location Permit (ILP).

**Woolpert Response: Noted.**

2. **ADA Parking:** Per UDO Sec 6.11.3.A.1, only concrete shall be utilized for ADA-accessible parking spaces and access aisles. Please update plans to comply with this standard.

**Woolpert Response: The site plan has been updated to indicate concrete pavement within ADA parking spaces and access aisles.**

3. **Landscaping:**

- a. Planting Species: Please ensure all plantings are native and approved species according to the City of Fishers 2021 Planting Guide.
- b. Please see attached landscaping plan showing additional comments.

**Woolpert Response:**

- a. Proposed tree and shrub species are included on the City of Fishers 2021 Planting Guide in accordance with Article 6.7 of the UDO. Perennial and ornamental grasses that are proposed within Meijer planter areas are supplemental and are not intended to count toward landscaping requirements.
- b. A revised landscape plan is provided as part of this resubmittal package.

4. **Open Space Requirement:** Please explain how you are meeting the minimum open space requirement of 15% per UDO Section 6.9.

**Woolpert Response: The required open space area for this site is 140,000 SF. An exhibit is provided with this submittal that highlights the active open space areas on the site that total approximately 145,000 SF.**

## ORDINANCE NO. 052024B

AN ORDINANCE OF THE COMMON COUNCIL OF THE CITY OF FISHERS, HAMILTON COUNTY, INDIANA, AMENDING THE TEXT OF THE OF THE FALL CREEK MARKET PUD ORDINANCE, ORIGINALLY ADOPTED ON OCTOBER 2, 2006, AS ORDINANCE NO. 050106A, AS FOLLOWS:

### SECTION 1. DECLARATION

That the text of the Fall Creek Market PUD, originally adopted on October 2, 2006, as Ordinance No. 050106A, which is part of the Unified Development Ordinance of the City of Fishers, Indiana, Ordinance No. 071618F, as amended (the "UDO"), is hereby amended as provided herein.

That the Zoning Classification of the following described Real Estate is hereby zoned as PUD-C and this ordinance shall hereinafter be referred to as the "Fall Creek Marketplace PUD Ordinance":

SEE "EXHIBIT A & A-1" ATTACHED HERETO.

### SECTION 2. PURPOSE AND INTENT

To create a neighborhood commercial district for property located northwest of the intersection of Southeastern Parkway and Cyntheanne Road through the adoption of development standards including architectural design and material standards to aesthetically enhance the commercial areas to be compatible with the surrounding residential neighborhoods.

### SECTION 3. LAND USE

- A. Grocery Store, which may include bakery, produce, pharmacy, alcohol sales, butcher/meat, floral and similar uses typically found in grocery stores, is permitted provided that no single occupancy may exceed eighty thousand (80,000) gross square feet for an anchor tenant. The 90,000 square foot limitation of the C-2 district shall not apply to the overall Fall Creek Marketplace PUD, provided overall development and individual structures are compliant with the Fall Creek Marketplace PUD concept plan.
- B. The following uses shall be permitted provided that no single occupancy shall exceed 5,000 square feet:
  - 1) Child Care Center
  - 2) Medical
  - 3) Medical Clinic
  - 4) Office
  - 5) Personal Services (Beauty/Hair Salon, Optometrist only)
  - 6) Restaurant (Excluding a bar, tavern, lounge)

- 7) One (1) Vehicle fuel sales/gas station and convenience store
- C. Any adult entertainment uses shall be prohibited.
- D. Package liquor sales shall be prohibited in gas stations/convenience stores or outlots.
- E. Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license.

**SECTION 4. CONCEPTUAL DEVELOPMENT PLAN**

The updated Concept Plan, attached hereto as "Exhibit B", is adopted as part of this ordinance. Adoption of the Concept Plan, however, does not constitute approval of any detailed and final development plans; such further approval is subject to the procedures set out in Section 7, below.

**SECTION 5. DEVELOPMENT STANDARDS**

Except as modified by this Fall Creek Marketplace PUD Ordinance, the development shall comply with the development, landscaping and parking standards of the Zoning Code of the City of Fishers.

**A. Bulk and Density Standards**

1) Building Setbacks

Minimum Front Yard	50'
Minimum Rear Yard	20'
Minimum Side Yard	20'

2) Lot Frontage

- a) Minimum lot frontage may be reduced to 75 feet for one individual outlot. All other lots shall meet the minimum standard of the UDO.

3) Lot Coverage

- a) Lot coverage shall not exceed seventy-five percent (75%) and is inclusive of buildings, parking area and other impervious surfaces, which results in an open space requirement of twenty five percent (25%) of the land area.

4) Building Height

- a) Buildings are restricted to thirty-six feet (36') maximum of two (2) stories (pitched roofs are measured as the mid-point).

- 5) A building on an outlot shall not be larger than 5,000 square feet and shall contain no more than four tenants.

**B. Landscaping**

- 1) The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) canopy trees five (5) evergreen trees and fifteen (15) shrubs per one hundred (100) lineal feet. Existing trees may count towards the requirement. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs

may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.

- 2) All new plantings shall be native.
- 3) Where required, street trees shall be provided at a ratio of one (1) canopy tree per fifty (50 feet). Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan.

#### **4. Architectural Standards**

- 1) All structures within an individual PUD area shall be constructed with similar design, materials and compatible architecture.
- 2) All buildings shall screen all mechanical equipment including that which is mounted to the roof and/or ground.
- 3) The exterior of all buildings adjacent to residentially zoned areas or occupied shall consist of a brick, masonry, stone façade, or stucco or precast concrete materials with brick, stone or masonry surface appearance.
- 4) Facades that have greater than one hundred feet (100') in length, measured horizontally, shall incorporate wall plane projections, recesses, canopy's, or structural screen walls having a depth of at least eight feet (8') and extending at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed one hundred and fifty horizontal feet (150').
- 5) Where large retail structures contain additional, separately owned or leased stores that occupy less than twenty-five thousand (25,000) square feet of gross floor area and have separate, exterior customer entrances, the street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the building facade of such additional stores. Window requirements for the gas service station shall be reduced to forty percent (40%) percent of the horizontal length of the building façade and shall apply only to the primary entrance façade of the gas service station.
- 6) Building facades shall include a repeating pattern that includes no less than three (3) of the following elements:
  - a) Color change;
  - b) Texture change;
  - c) Material module change;
  - d) An expression of architectural or structural bays through a change in plane no less than twelve inches (12") in width, such as an offset, reveal or projecting rib.
- 7) Roof architecture
  - a) Roofs shall have some combination of the following features:
    - (1) All roof areas shall restrict rooftop equipment such as HVAC units from public view by extending the supporting wall or parapet. Such roof features shall contain three-dimensional cornice treatment,
    - (2) Overhanging eaves, extending no less than three feet (3') past the supporting

walls;

- b) Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height. Gasoline service canopies shall have masonry support pillars to support the gas station canopy.
  - c) Office uses, separate retail tenants, single story and buildings of less than fifty thousand (50,000) square feet must have pitched roofs to be more residential in character. Notwithstanding, the permitted gasoline service station and its canopy shall be architecturally consistent with the primary grocery use and may have flat roofs.
  - d) Flat roofs shall have architectural significance, such as different sections of flat roofs so the roof can be given articulation with different heights. The look of the building shall therefore be softened by the feel of the facade.
- 8) Materials and colors.
- a) Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, tinted/textured concrete masonry units or precast concrete materials with brick stone or masonry surface appearance.
  - b) Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The use of high-intensity colors, metallic colors, black or fluorescent colors shall be prohibited.
  - c) Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
  - d) Exterior building materials shall not include smooth-faced concrete block, or prefabricated steel panels.
- 9) Entryways.
- a) Each retail establishment greater than twenty thousand (20,000) square feet shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
    - (1) Canopies or porticos;
    - (2) Overhangs;
    - (3) Recesses/projections;
    - (4) Arcades;
    - (5) Raised corniced parapets over the door;
    - (6) Varied roof forms;
    - (7) Arches;
    - (8) Architectural details such as tile work and moldings which are integrated into the building structure and design;
    - (9) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
  - b) All building facades that are visible from public streets shall comply with the requirements of items (1) through (9).
- 10) Pedestrian circulation
- a) Sidewalks shall be a minimum of five (5) feet in width, however, where applicable, they shall be ten (10) feet in width asphalt in conjunction with the City Parks Plan and to integrate with neighborhoods. Sidewalks shall be provided along all sides



of the lot that abut a public street.

- b) Continuous internal pedestrian walkways, no less than eight feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of each retail building on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds and ground cover.
  - c) Sidewalks, no less than eight feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. In-ground or permanent planter boxes shall be provided in place of foundation planting along the outer edge of the sidewalk where they do not interfere with pedestrian access/connectivity to provide planting façade.
  - d) Internal pedestrian walkways provided in conformance with part b) above shall provide weather protection features such as awnings or arcades within thirty feet (30') of all customer entrances.
  - e) All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.
- 11) Trash receptacles shall not be located closer to the right-of-way than the primary building, except where the property has frontage along two property lines. Gates shall not face residential use properties; such requirement shall not apply to school-owned and used properties which may be zoned residential. Refuse compactor units located within the loading area shall be screened from adjacent properties or right-of-way along the edge of the loading dock area but shall not require gates to completely enclose the unit.
- 12) Outlot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.

#### D. Parking and Access

- 1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO.
- 2) Terminal planting beds may be eliminated adjacent to ADA accessible spaces.
- 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses with approval from Fishers Engineering Department.
- 4) Cart corrals shall be constructed of durable materials but may be moveable to facilitate parking lot clearing and maintenance.

#### E. Signage

- 1) A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign lighting and color modifications may be addressed as a part of this package.
- 2) The fuel pricing portion of the gas station sign may utilize digital changeable copy panels which remains static except for price changes, provided such signage does not exceed 25% of the overall sign, as measured per face.

#### F. Lighting

- 1) Lighting shall be limited to 0.5-foot candles at the property line. This requirement is exempt when adjacent to public right-of-way.
- 2) Light poles shall be limited to thirty feet (30') in height
- 3) Light fixtures may be decorative along the entrance drives and along public rights-of-way approved as part of the overall architecture, but overall site illumination into the atmosphere shall be restricted through the use of full cut-off fixtures.
- 4) Vehicle canopy lighting shall not exceed 40 foot candles in intensity. All lighting shall be recessed within the canopy structure.
- 5) Pedestrian lighting along the building façade may be satisfied through a combination of building and pole mounted lighting as detailed on the final lighting plan.

### **SECTION 6. OTHER REQUIREMENTS**

The Real Estate shall comply with all City Ordinances (e.g., UDO) in effect as of the date of adoption of this Ordinance, as applicable, except as provided or modified by this PUD Ordinance. The underlying zoning district shall be C2 Commercial.

### **SECTION 7. PROCEDURES.**

Improvements on the Real Estate that is the subject of this Fall Creek Marketplace PUD Ordinance may be developed in phases over time. A Development Plan for each building and phase of development shall be submitted to the City's general PUD Committee (the "Committee") for review and approval prior to the issuance of a building permit. Development plans shall be reviewed and approved based upon compliance with the development and design standards set forth herein. The grocery store shall substantially comply with the rendering attached hereto as "Exhibit C", and the fueling center/convenience store shall substantially comply with the rendering attached hereto as "Exhibit D & D-1"; provided, however, that the Committee shall have the discretion and flexibility, upon the request of the petitioner, to consider and approve modifications pertaining to any development and design standard established or referenced by this Fall Creek Marketplace PUD Ordinance if the Committee determines such modifications are consistent with the intent of this Fall Creek Marketplace PUD Ordinance.



## **SECTION 8. APPROVAL**

This ordinance shall be in full force and effect from and after its passage by the City Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.

EXHIBIT "A"

LAND DESCRIPTION  
FALLS CREEK PLANNED DEVELOPMENT

A PART OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 18 NORTH, RANGE 6 EAST OF THE 2ND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SAID NORTHEAST QUARTER SECTION, WHICH CORNER IS COLLINEAR AND EQUIDISTANT FROM THE NORTHEAST AND SOUTHEAST CORNERS OF SAID QUARTER SECTION;  
THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, BEING A LINE CONNECTING AFORESAID POINT AND THE HARRISON MONUMENT FOUND AT THE WESTERLY QUARTER-CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 89 DEGREES 37 MINUTES 20 SECONDS WEST, A DISTANCE OF 60.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CYNTHIANNE ROAD CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING THE POINT OF BEGINNING;  
THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 792.62 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL DEDICATED PER INSTRUMENT NUMBER 2011044517, BEING A POINT ON THE NORTH LINE OF THE PARCEL PER INSTRUMENT NUMBER 9809816383;  
THENCE ALONG NORTH LINE OF SAID PARCEL PER INSTRUMENT NUMBER 9809816383, SOUTH 89 DEGREES 44 MINUTES 15 SECONDS WEST, A DISTANCE OF 260.45 FEET TO THE MOST EASTERLY CORNER OF RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500030733, NORTH 56 DEGREES 05 MINUTES 26 SECONDS WEST, A DISTANCE OF 609.05 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL NO. 30 CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500030733, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 61.58 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733;  
THENCE ALONG THE WEST LINE OF SAID PARCEL PER INSTRUMENT NUMBER 200500030733, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 11.92 FEET TO THE NORTHEAST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 49.66 FEET FROM THE SOUTHEAST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF STATE ROAD 238 (SOUTHWESTERN PARKWAY) PER INSTRUMENT NUMBER 200500015467, NORTH 54 DEGREES 38 MINUTES 47 SECONDS WEST, A DISTANCE OF 340.77 FEET TO THE NORTHWEST CORNER OF SAID RIGHT-OF-WAY PARCEL CONVEYED TO THE STATE OF INDIANA PER INSTRUMENT NUMBER 200500015467, SAID POINT BEING NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 59.12 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL PER INSTRUMENT NUMBER 200500015467;  
THENCE ALONG A LINE PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, NORTH 00 DEGREES 15 MINUTES 45 SECONDS WEST, A DISTANCE OF 609.50 FEET TO A POINT ON A LINE 990.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31;  
THENCE ALONG SAID LINE, NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST, A DISTANCE OF 875.09 FEET TO THE NORTHWEST CORNER OF THE PARCEL PREVIOUSLY CONVEYED TO G. MELVIN FEATHERSTON PER DEED RECORD 323 PAGE 205;  
THENCE ALONG THE WEST AND SOUTH LINES OF SAID PARCEL, THE FOLLOWING TWO (2) COURSES:  
1) SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST ALONG A LINE PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 192.50 FEET;  
2) NORTH 89 DEGREES 42 MINUTES 53 SECONDS EAST ALONG A LINE PARALLEL TO THE NORTH LINE

OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 166.29 FEET TO THE NORTHWEST CORNER OF THE RIGHT-OF-WAY PARCEL CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, SAID POINT BEING 60.00 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31;

THENCE ALONG THE WEST RIGHT-OF-WAY LINE OF CYNTHEANNE ROAD, CONVEYED TO THE TOWN OF FISHERS PER INSTRUMENT NUMBER 2011044517, BEING A LINE 60.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, SOUTH 00 DEGREES 15 MINUTES 45 SECONDS EAST, A DISTANCE OF 153.42 FEET TO THE POINT OF BEGINNING;

CONTAINING 948,278 SQUARE FEET OR 21.769 ACRES, MORE OR LESS.

THE BASIS OF BEARINGS REFERENCED HEREON IS THE INDIANA STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83).



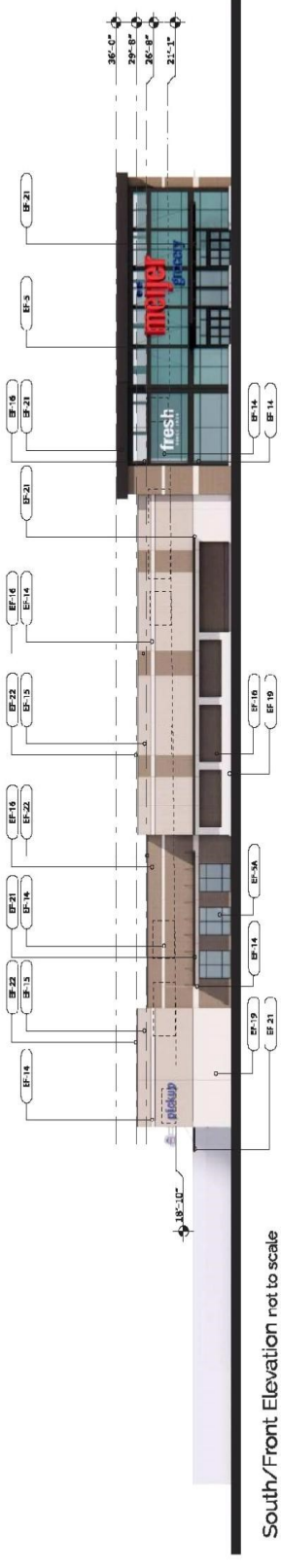




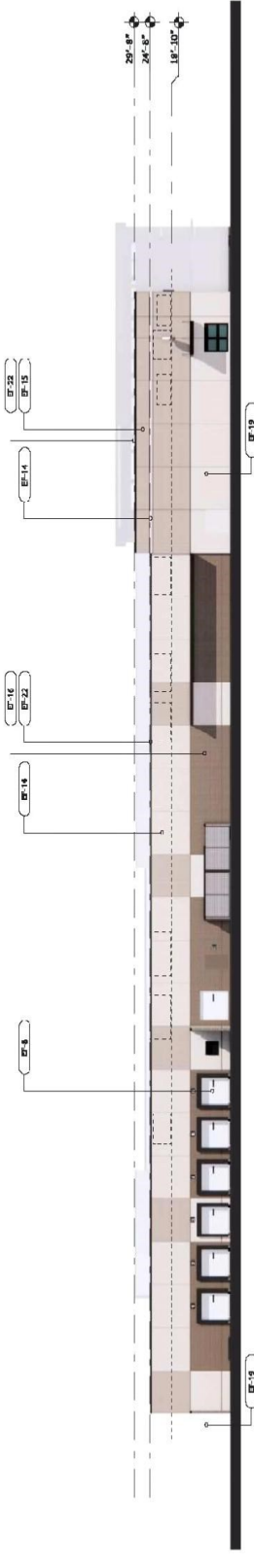
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES	—	DARK BRONZE ANODIZED ALUMINIUM
EF-5A	1" INSULATED GUARDIAN GLASS	CRYSTAL GRAY 5N58	—
EF-6	1" INSULATED SPANDREL PANEL WITH CRYSTAL GUARDIAN GLASS	—	WARM GRAY
EF-9	SECTIONAL CONCRETE BEAMS	—	WHITE
EF-14	INSULATED PRECAST CONCRETE WALL - PAINTED	—	SW 7553 PATIENCE
EF-15	INSULATED PRECAST CONCRETE WALL - RECALL FORMLINER 2/75	—	SW 7346 TONY TAUIPE
EF-16	VERTICAL LINE/VERTICAL STANDING SEAMS INSULATED PRECAST CONCRETE WALL - RECALL FORMLINER 2/75	—	SW 7026 GRIFFIN
EF-19	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED	RECALL FORMLINER 2/75 AP FORMLINER 2/75 BRICK VELOUR #101A	SW 7042 SHOJI WHITE
EF-20	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED	AP FORMLINER 2/75 BRICK VELOUR #101A	SW 7042 SHOJI WHITE
EF-21	CANDY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-25	FIELD PAINTED STEEL - HOLLOW METAL DOORS & WINDOWS	SHERWIN WILLIAMS	SW 7042 SHOJI WHITE
EF-56	CONCRETE PLANTER	—	CAST IN PLACE CONCRETE PLANTER

\*ROOF LINE AND EQUIPMENT SHOWN DASHED\*  
\*ROOF EQUIPMENT RANGES FROM 4'-6" TO 6'-0" TALL\*

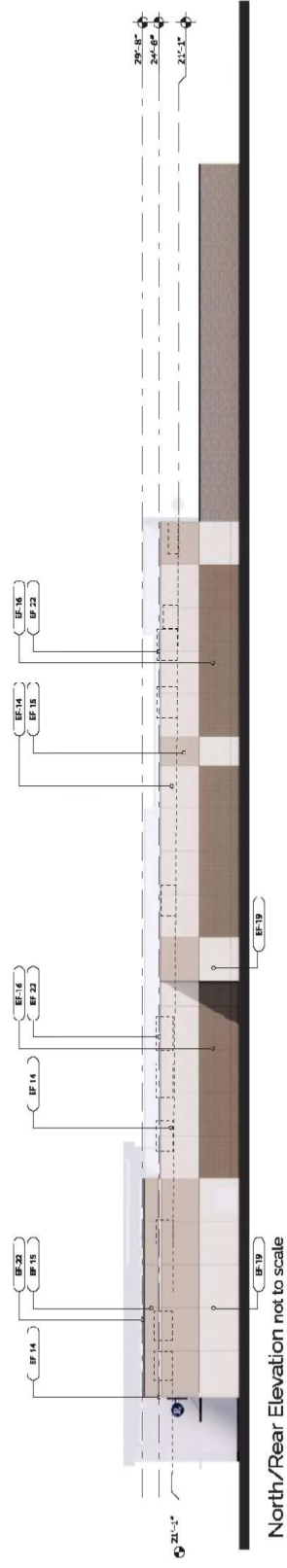
# EXHIBIT C



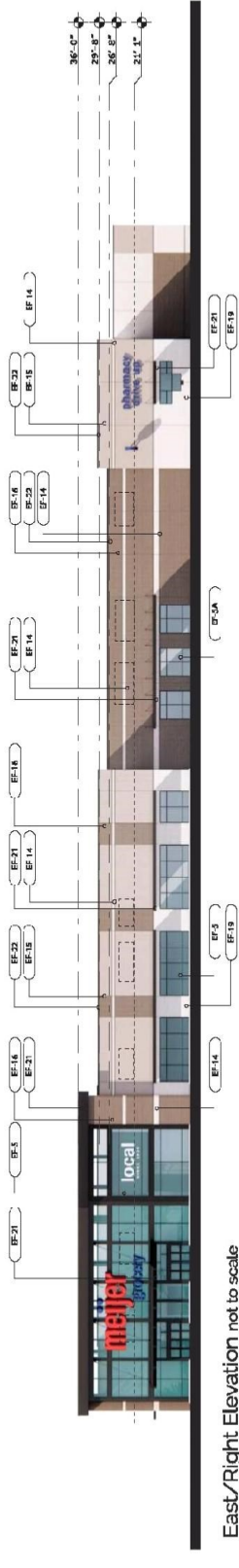
South/Front Elevation not to scale



West/Left Elevation not to scale



North/Rear Elevation not to scale



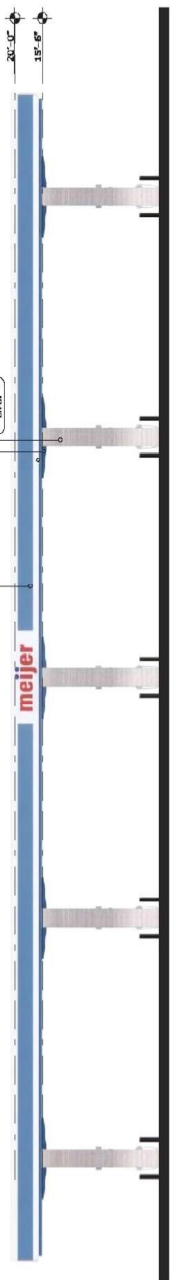
East/Right Elevation not to scale



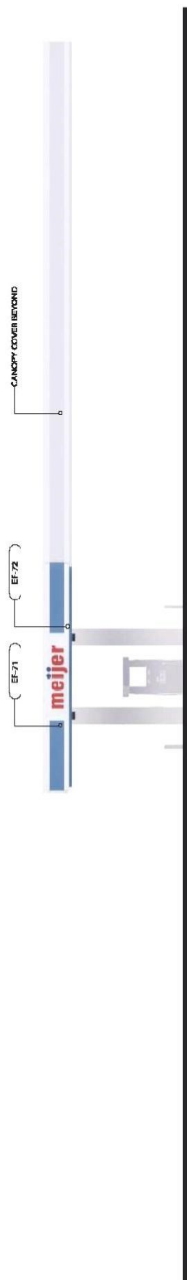


# EXHIBIT D-1

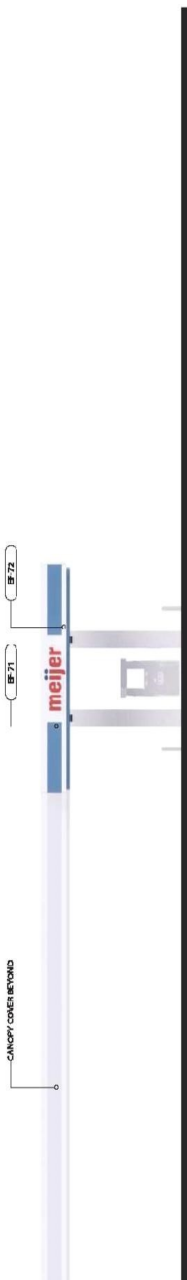
RENDERING FINISH LEGEND			
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EF-40	FUEL ISLAND CANOPY STRUCTURE	SHERWIN WILLIAMS	SW 6510 LOVAL BLUE
EF-71	FUEL ISLAND CANOPY GRAPHIC FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY	ALPOLIC	505 GREY
BR-01	FUEL ISLAND COLUMN FINISH	THIN BRICK	TO MATCH EXISTING SIBU WHITE



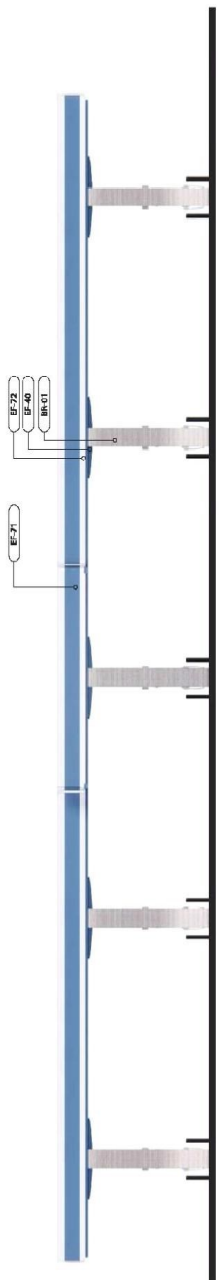
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West/Right Elevation not to scale

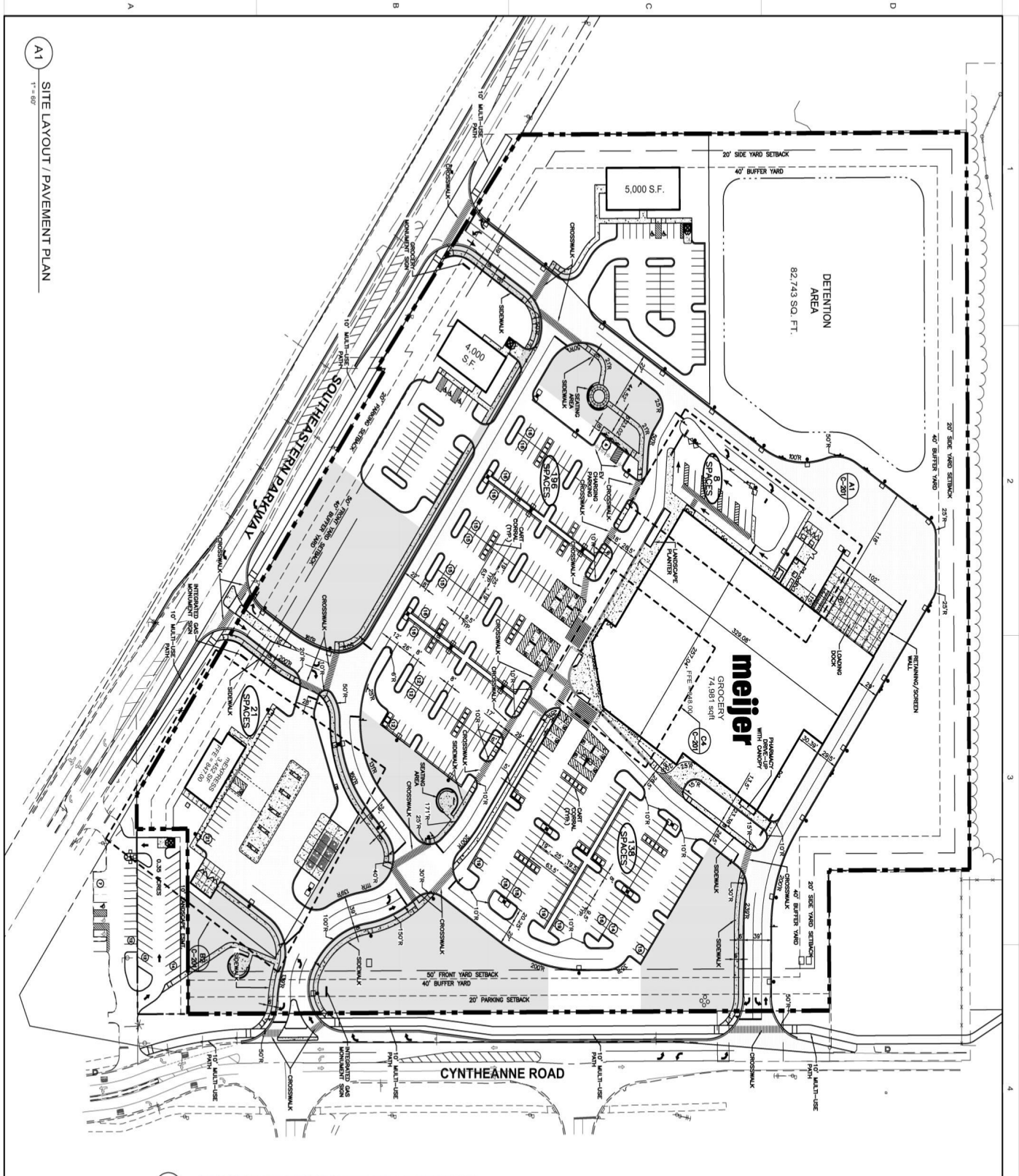


East/Left Elevation not to scale

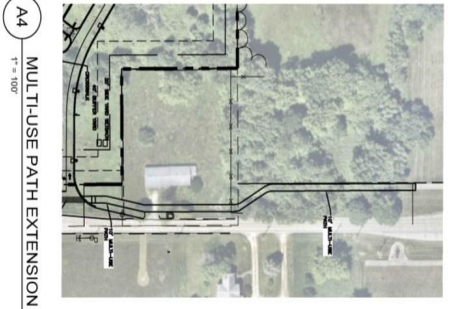


South/Rear Elevation not to scale

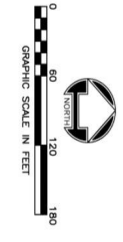




A1 SITE LAYOUT / PAVEMENT PLAN  
 1" = 60'



A4 MULTI-USE PATH EXTENSION  
 1" = 100'



ISSUED FOR:	MANDATORY
PERMIT:	MANDATORY
NO:	MANDATORY
CONSTRUCTION:	MANDATORY
REVISION:	
DATE:	
BY:	JMR
DATE:	
NO:	10019671
PROJECT NO.:	C-200

MEIJER STORE FSR  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

SITE LAYOUT / PAVEMENT PLAN

REV.	DATE	DESCRIPTION



**WOLPERT**  
 ARCHITECTURAL ENGINEERING CONSULTANTS  
 4454 Ikon Center Boulevard  
 Dayton, OH 45424  
 937.461.5660

**LEGEND**

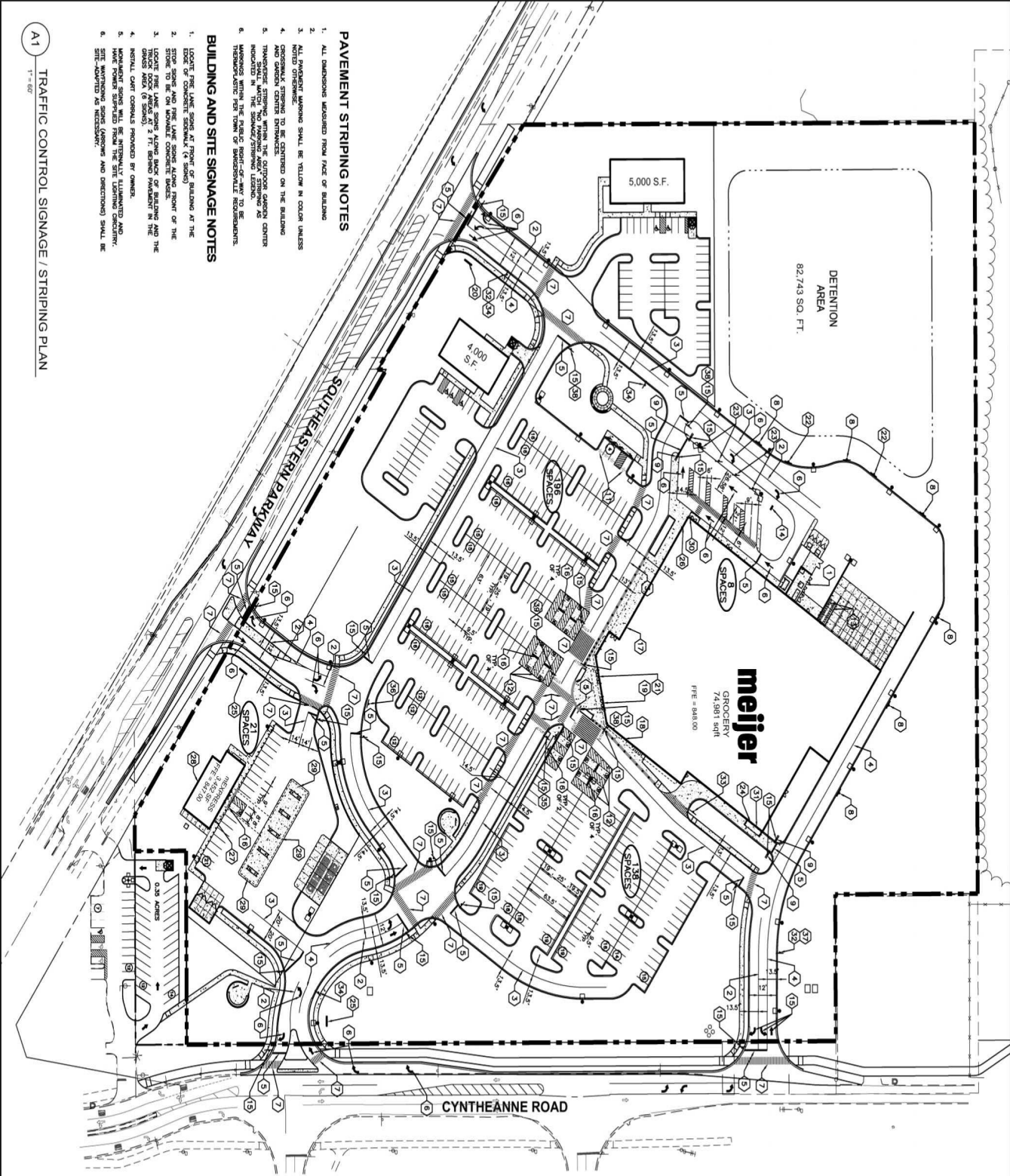
- CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- CLUB TYPE TRANSITION
- M-45 PAVING SPACE, UNLESS NOTED OTHERWISE
- BARRIER FREE PAVING SPACES
- OPEN CORNER
- OPEN SPACE
- REQUIRED ACTIVE OPEN SPACE (10%)
- PROPOSED ACTIVE OPEN SPACE
- 14,000 S.F.
- 140,000 S.F.
- OPEN SPACE
- PROPOSED TOP OF FINISH
- PROPOSED SIDEWALK
- PROPOSED BOUNDARY
- EXISTING BOUNDARY

**GENERAL NOTES**

1. NO DIMENSION MAY BE SCALED, REFER UNLESS NOTED TO THE DIMENSION FOR INTERPRETATION.
2. BUILDING FOOTPRINTS, EXTERIOR FINISHES, AND FINISHES ARE TO BE SHOWN TO THE CENTER LINE OF THE BUILDING UNLESS NOTED OTHERWISE.
3. BUILDING SLABS, UNLESS NOTED OTHERWISE, ARE TO BE SHOWN TO THE CENTER LINE OF THE BUILDING UNLESS NOTED OTHERWISE.
4. REFER TO SHEETS C-200 AND C-201 FOR STAIRS/ELEVATORS AND ELEVATOR SHAFTS.
5. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR DEMONSTRATING TO THE CONTRACTOR THE LOCATION OF ALL UTILITIES AND PERFORM REQUIRED CONSTRUCTION OPERATIONS.
6. PROVIDE ADEQUATE BARRICADES AT DRIVE, ENTRANCES, EXCAVATIONS AND OTHER AREAS TO BE CONSTRUCTED TO PROTECT THE PUBLIC AND TRAFFIC FROM CONSTRUCTION OPERATIONS.
7. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
8. SPECIFIC NOTES REGARDING THE REQUIREMENTS FOR SIGNAGE, SIGNAGE PLACEMENT, AND SIGNAGE DESIGN ARE TO BE SHOWN TO THE CENTER LINE OF THE BUILDING UNLESS NOTED OTHERWISE.
9. EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON STRUCTURAL FOUNDATIONS FOR RETENTION ON THE EXTERIOR CENTER SLAB ADJACENT TO EXISTING 12" BARRIER BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
10. ALL ROAD SHALL BE 4' UNLESS OTHERWISE NOTED.

- PAVEMENT STRIPING NOTES**
1. ALL DIMENSIONS MEASURED FROM FACE OF BUILDING
  2. ALL PROPOSED MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE
  3. CROSSWALK STRIPING TO BE CENTERED ON THE BUILDING
  4. THROUGHWAY STRIPING WITHIN THE OUTDOOR GARDEN CENTER INCORPORATE THE NO PARKING AND STOP STRIPING AS INDICATED
  5. MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC PER TOWN OF BANGORVILLE REQUIREMENTS
- BUILDING AND SITE SIGNAGE NOTES**
1. LOCATE FIRE LANE SPACES AT FRONT OF BUILDING AT THE EDGE OF CONCRETE SIDEWALK (4 SPACES)
  2. STOP SIGN AND FIRE LANE SIGN ALONG FRONT OF THE BUILDING
  3. LOCATE FIRE LANE SPACES ALONG BACK OF BUILDING AND THE TRUCK DOOR AREAS AT 2 FT. BEHIND PAVEMENT IN THE INSTANT CARE CORNERS PROVIDED BY OWNER.
  4. MONUMENT SIGN WILL BE INTERNALLY ILLUMINATED AND HAVE POWER SUPPLIED FROM THE SITE LIGHTING CIRCUITRY.
  5. SITE MARKINGS AS INDICATED

A1 TRAFFIC CONTROL SIGNAGE / STRIPING PLAN  
 1" = 60'



**STRIPING & SIGNAGE KEYNOTES**

1	NO PARKING SIGN, MOUNTED TO WALL, ARROWS TO RIGHT AND LEFT
2	4" SINGLE SOLID LINE, WHITE
3	4" SINGLE SOLID LINE, YELLOW
4	4" DOUBLE SOLID LINE, YELLOW
5	12" STOP LINE, WHITE
6	LANE ARROW, WHITE
7	CROSSWALK
8	NO PARKING - FIRE LANE SIGN
9	WINDING WAY SIGN
10	4" DOUBLE SOLID LINE, WHITE
11	10' PARKING SPACES WITH STRIPING AND SIGNAGE BLUE ADA STRIPING (TYP.)
12	4" FLOOR MARKING TAPE, YELLOW, SPACED AT 12" ON CENTER, COMPONENT WITH YELLOW C-SHEETS
13	POUPEL MONUMENT SIGN, SEE DETAIL A1 ON SHEET C-501, STOP SIGN
14	ADA ACCESSIBLE PARKING SIGNAGE
15	LOCAL WINDOW SIGN, SEE DETAIL A5 ON SHEET C-501
16	FRESH WINDOW SIGN, SEE DETAIL B5 ON SHEET C-501
17	WELCOME SIGN, SEE DETAIL C5 ON SHEET C-501
18	MUSIC PROCEEDY MONUMENT SIGN, SEE DETAIL D4 ON SHEET C-501
19	MUSIC PROCEEDY SIGN, SEE DETAIL D1 ON SHEET C-501
20	GREEN MANUFACTURE SIGNAGE, SEE DETAIL E4 ON SHEET C-501
21	10' WINDING WAY SIGNAGE, SEE DETAIL F4 ON SHEET C-501
22	THANKYOU DRIVE WAY SIGN, SEE DETAIL C4 ON SHEET C-501
23	THANKYOU DRIVE WAY SIGN, SEE DETAIL C4 ON SHEET C-501
24	THANKYOU DRIVE WAY SIGN, SEE DETAIL C4 ON SHEET C-501
25	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
26	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
27	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
28	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
29	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
30	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
31	POUPEL SIGN, SEE DETAIL C1 ON SHEET C-501
32	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C1 ON SHEET C-502
33	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
34	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
35	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
36	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
37	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
38	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
39	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502
40	THANKYOU STRAIGHT ARROW SIGN, SEE DETAIL C2 ON SHEET C-502

**STRIPING & SIGNAGE LEGEND**

- NO PARKING AREAS (YELLOW STRIPING @ 8' O.C. AT 45° TO ROAD)
- ADA VLN ACCESSIBLE PARKING SIGNAGE (SEE DETAIL X ON C-501)
- ADA VLN ACCESSIBLE SIGN

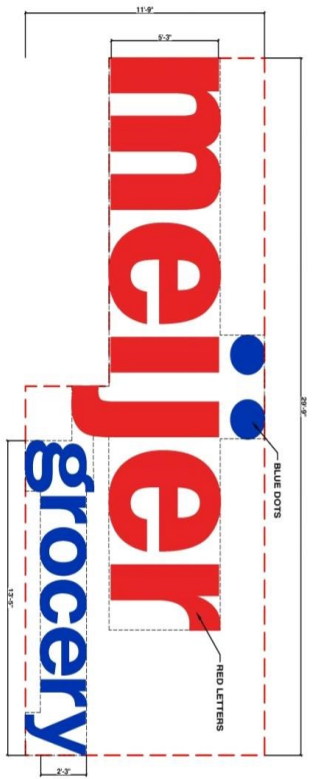
**PARKING SUMMARY**

MAIN STONE	308
STANDARD PARKING (0'-8"-11')	308
HC VLN ACCESSIBLE	14
TOTAL PARKING	630
RECORDED BY CODE	[ ]
PREPARED BY	[ ]
DESIGNED BY	[ ]
CONSTRUCTED BY	[ ]
TOTAL PARKING	21
RECORDED BY CODE	[ ]

Graphic scale: 0, 60, 120, 180 feet. North arrow pointing up.

<p>MEIJER STORE FSR                  XXXX SOUTHEASTERN PARKWAY                  FISHERS, HAMILTON COUNTY, INDIANA 46037</p>	<p>REV. DATE DESCRIPTION</p>	 2620 WALKER AVENUE GRAND RAPIDS, MICHIGAN 49544 (616) 453-6711	 4454 Idea Center Boulevard Dayton, OH 45420 937.481.5880
<p>ISSUED FOR: _____</p> <p>DESIGNED BY: _____</p> <p>CONSTRUCTED BY: _____</p> <p>DATE: _____</p> <p>BY: JMR</p>	<p>C-500</p>	<p>10019671</p>	<p>DATE: _____</p>

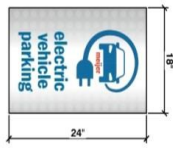




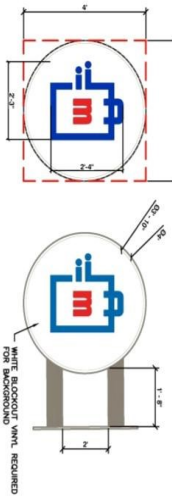
**D1** MEIJER GROCERY  
 NBS  
 INTERNALLY ILLUMINATED INLETER CHANNEL LETTERS TO MATCH CORPORATE LOGO & COLORS. SIDES OF LETTERS & REMAINERS TO BE PAINTED TO MATCH RESPECTIVE FACE COLORS.  
**TOTAL 291.7 S.F.**



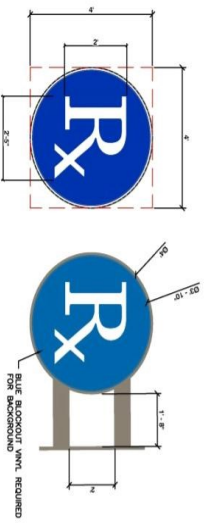
**C1** PICKUP SIGN  
 NBS  
 LOW PROFILE REVERSE HALO LT 3" DEEP POLYCARBONATE LETTERS MOUNTED TO 1/2" X 1/2" X 1/2" ALUMINUM FACE COLOR: BLUE (PMS 286C)  
**TOTAL 263.3 S.F.**



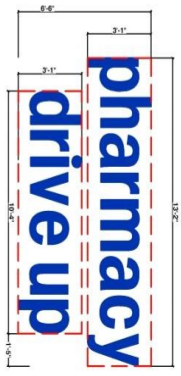
**C2** EV CHARGING SIGN  
 NBS  
**TOTAL 23.8 S.F.**



**B1** PICKUP BLADE SIGN  
 NBS  
 INTERNALLY ILLUMINATED, WHITE ACRYLIC SIGN WITH DARK BRONZE ALUMINUM REMAINDER  
 COLOR: BLUE (PMS 286C) & RED (PMS 485C)  
**TOTAL 18.9 S.F.**



**A1** RX BLADE SIGN  
 NBS  
 LED INTERNALLY ILLUMINATED, WHITE ACRYLIC SIGN WITH DARK BRONZE ALUMINUM REMAINDER  
 COLOR: BLUE (PMS 286C) & RED (PMS 485C)  
**TOTAL 18.9 S.F.**



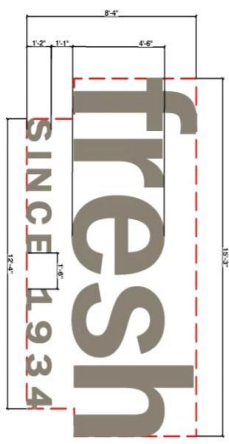
**C4** PHARMACY SIGN DRIVE UP  
 NBS  
 LOW PROFILE REVERSE HALO LT 1" DEEP EXTENSION FOAM LETTERS MOUNTED TO 1/2" X 1/2" X 1/2" ALUMINUM FACE COLOR: BLUE (PMS 286C)  
**TOTAL 722.5 S.F.**



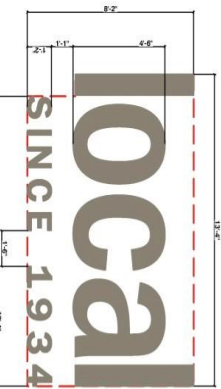
**C5** WELCOME SIGN  
 NBS  
 NON-ILLUMINATED, DIE-CUT VINYL SURFACED APPLIED.  
**TOTAL 12.5 S.F.**



**A4** PICKUP SIGN PARKING SPACE NUMBERS  
 NBS  
 SIGN POLE AND BASE TO BE CONSTRUCTED PER DETAIL B1 ON C-701  
**TOTAL 43.8 S.F.**



**B5** FRESH SINCE 1934 - WINDOW SIGN  
 NBS  
 NON-ILLUMINATED, WINDOW DECAL  
 COLOR: SHERWIN WILLIAMS SW 9174 MOTH WING  
**TOTAL 126.8 S.F.**



**A5** LOCAL SINCE 1934 - WINDOW SIGN  
 NBS  
 NON-ILLUMINATED, WINDOW DECAL  
 COLOR: SHERWIN WILLIAMS SW 9174 MOTH WING  
**TOTAL 106.8 S.F.**

- GENERAL NOTES**
- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL SQUARE FOOTAGE VALUES PROVIDED ON SHEETS C501 AND C502 FOR THE RESPECTIVE SIGNS.
  - ALL WING FOR EXTENSION SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
  - FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

**MAIN STORE SIGNAGE**

DETAIL	QTY.	DESCRIPTION	CALCULATED SF	TOTAL SF
D1	1	meijer grocery	191.0	291.7
C4	1	pharmacy drive up	41.2	41.2
C1	1	pickup	21.1	263.3
B1	1	pickup blade sign	12.6	18.0
A1	1	Rx blade sign	12.6	18.0
<b>TOTAL</b>			<b>278.7</b>	<b>428.6</b>



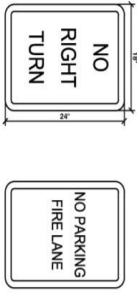
**WOLPERT**  
 ARCHITECTURE & ENGINEERING PROFESSIONAL  
 4451 Ikea Center Boulevard  
 Dayton, OH 45430  
 937.461.5660

MEIJER STORE FSR  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

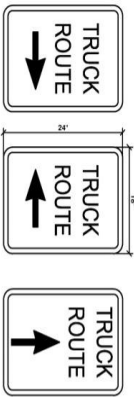
EXTERIOR SIGNAGE DETAILS

SUBMIT FOR:	AMDOVY
PERMIT:	AMDOVY
BID:	AMDOVY
CONSTRUCTION:	AMDOVY
MEASUREMENT:	3/28/24
DATE:	JMR
PROJECT NUMBER:	10019671

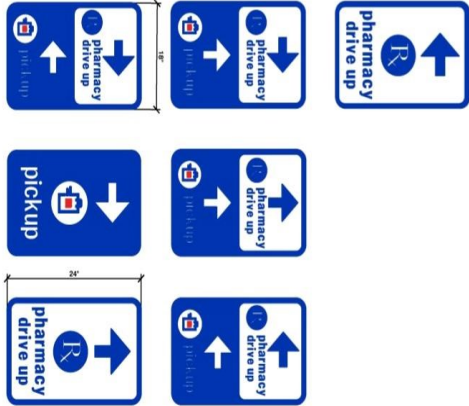
C-501



D1 RESTRICTION SIGNAGE TOTAL 30.5 SF.

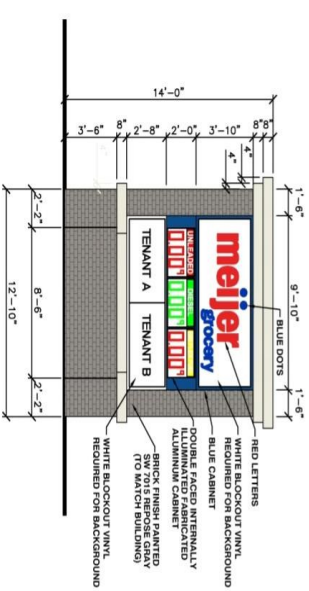


C1 TRUCK ROUTE SIGNAGE TOTAL 30.5 SF.

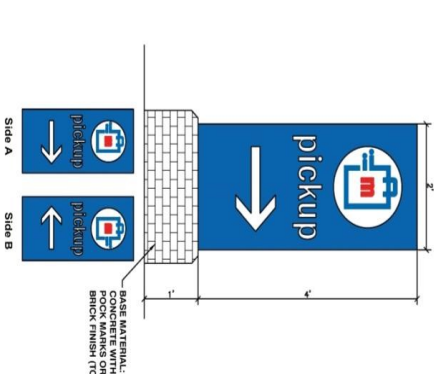


C2 PARKING LOT WAYFINDING TOTAL 30.5 SF.

SIGNAGE ARROW DIRECTIONS TO BE PROVIDED VIA KEYNOTE ON SHEET C-500

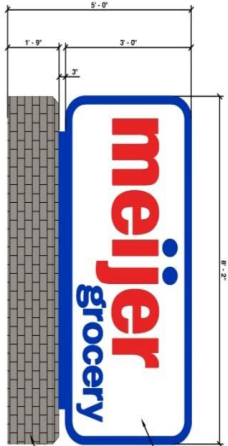


A1 MONUMENT SIGN WITH GAS PRICER (4) TOTAL 83.5 SF.

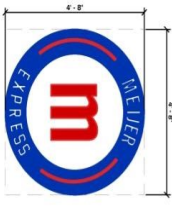


A2 PICKUP MONUMENT SIGN TOTAL 83.5 SF.

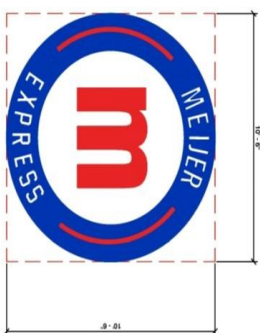
- NOTES:
1. COLORS ARE MEDIUM BLUE (PMS 286), MEDIUM RED (PMS 485C) AND WHITE.
  2. CAD-CUT VINYL APPLIED TO MEDIUM BLUE ALUMINUM SIGN BLANKS.
  3. SIGN IS ANGLE MOUNTED AS SHOWN. POLES TO BE SIZED APPROPRIATELY BY ARCHITECTURAL PLANS.



B3 GROCERY MONUMENT SIGN TOTAL 243.5 SF.



A4 MEEXRESS WALL SIGN FLUSH MOUNTED TOTAL 217.7 SF.



B5 MEEXPRESS WALL SIGN FLUSH MOUNTED TOTAL 192.3 SF.



A5 GAS CANOPY SIGN LAYOUT TOTAL 182.3 SF.

- GENERAL NOTES
1. SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND COLORS FOR THE RESPECTIVE SIGNS.
  2. ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
  3. FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

MAIN STORE SIGNAGE

DETAIL	QTY.	DESCRIPTION	CALCULATED SF	TOTAL SF
C2	9	wayfinding signage	3.0	27.0
A2	1	pickup monument sign	8.0	8.0
		Total	11.0	35.0

MEEXPRESS STORE SIGNAGE

DETAIL	QTY.	DESCRIPTION	CALCULATED SF	TOTAL SF
A5	3	Canopy Logo (19.2 ea.)	15.7	57.6
A4	1	meexpress Flush Mounted	21.7	21.7
B5	1	meexpress Flush Mounted	119.2	119.2
		Total	147.6	199.5

MEEXPRESS SITE SIGNAGE

DETAIL	QTY.	DESCRIPTION	CALCULATED (SF)	TOTAL (SF)
A1	1	INTERIOR GAS MONUMENT		
		PRICE		
		TENANT A		
		TENANT B		
		TOTAL	XXX	83.5
A3	1	GROCERY MONUMENT		
		LOGO	XXX	243.5
		TOTAL		243.5

**WOLPERT**  
 Architectural & Engineering Professionals  
 4454 Ikea Center Boulevard  
 Dayton, OH 45430  
 937.481.9680

**meijer**  
 2929 WALKER AVENUE  
 GRAND RAPIDS, MICHIGAN 49544  
 (616) 453-6711

MEIJER STORE FSR  
 XXXX SOUTHEASTERN PARKWAY  
 FISHERS, HAMILTON COUNTY, INDIANA 46037

EXTERIOR SIGNAGE DETAILS

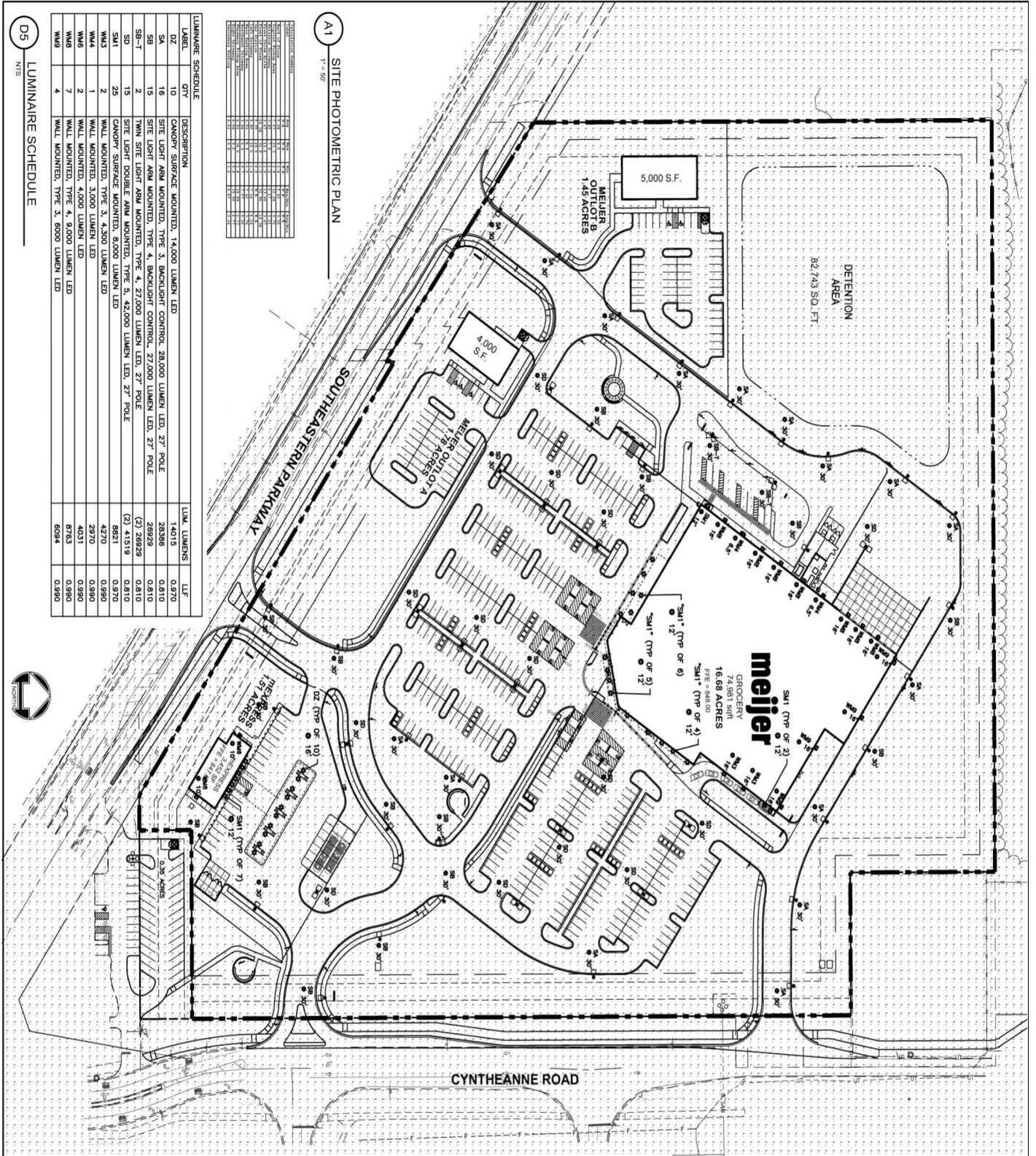
SELECTOR:	
REMARK:	
BID:	AMMOITY
CONTRIBUTION:	AMMOITY
DATE:	08/28/2024
DESIGNER:	JMR

10019671  
 C-502





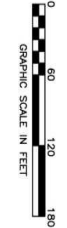




A1 SITE PHOTOMETRIC PLAN  
 1" = 50'

LABEL	QTY	DESCRIPTION	LUM. LUMENS	LF
DZ	10	CANOPY SURFACE MOUNTED, 14,000 LUMEN LED	14015	0.970
SA	16	SITE LIGHT ARM MOUNTED, TYPE 3, BACKLIGHT CONTROL, 28,000 LUMEN LED, 27' POLE	28386	0.910
SB	15	SITE LIGHT ARM MOUNTED, TYPE 4, BACKLIGHT CONTROL, 27,000 LUMEN LED, 27' POLE	28929	0.910
SB-T	2	TWIN SITE LIGHT ARM MOUNTED, TYPE 4, 27,000 LUMEN LED, 27' POLE	(2) 28929	0.910
SD	15	SITE LIGHT DOUBLE ARM MOUNTED, TYPE 5, 42,000 LUMEN LED, 27' POLE	(2) 41919	0.910
SM1	25	CANOPY SURFACE MOUNTED, 8,000 LUMEN LED	8821	0.970
SM2	2	WALL MOUNTED, TYPE 3, 4,300 LUMEN LED	4270	0.990
SM3	1	WALL MOUNTED, 3,000 LUMEN LED	2970	0.990
SM4	2	WALL MOUNTED, 4,000 LUMEN LED	4031	0.990
SM6	7	WALL MOUNTED, TYPE 4, 9,000 LUMEN LED	8763	0.990
SM9	4	WALL MOUNTED, TYPE 3, 8,000 LUMEN LED	6094	0.990

D5 LUMINAIRE SCHEDULE  
 NTS



C-801 10019671	MEIJER STORE FSR XXXX SOUTHEASTERN PARKWAY FISHERS, HAMILTON COUNTY, INDIANA 46037  PHOTOMETRIC PLAN	REV / DATE / DESCRIPTION	<p>2029 WALKER AVENUE                  GRAND RAPIDS, MICHIGAN 49544                  (616) 453-6711</p>	<p>4451 Idea Center Boulevard                  Dayton, OH 45430                  937.481.5860</p>
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ORDINANCE NO. \_\_\_\_\_

~~AN ORDINANCE AMENDING THE ZONING ORDINANCE  
OF FISHERS, INDIANA 1980.~~

~~AN ORDINANCE OF THE COMMON COUNCIL OF THE CITY OF FISHERS, HAMILTON COUNTY, INDIANA, AMENDING THE TEXT OF THE OF THE FALL CREEK MARKET PUD ORDINANCE, ORIGINALLY ADOPTED ON OCTOBER 2, 2006, AS ORDINANCE NO. 050106A, AS FOLLOWSZONING ORDINANCE OF FISHERS, INDIANA w 1980. BE IT ORDAINED BY THE TOWN CITY COUNCIL OF THE TOWN CITY OF FISHERS, INDIANA, THAT THE ZONING ORDINANCE, A PART OF THE COMPREHENSIVE PIAN AND ORDINANCE 1980, ORDINANCE NO. 110380, AS AMENDED, IS HEREBY AMENDED AS FOLLOWS:~~

**SECTION 1. DECLARATION**

~~That the text of the Fall Creek Market PUD, originally adopted on October 2, 2006, as Ordinance No. 050106A, which is part of the Unified Development Ordinance of the City of Fishers, Indiana, Ordinance No. 090605A, as amended (the "UDO"), is hereby amended as provided herein. Zoning Code of the Town City of Fishers, Indiana, Ordinance No. 110380, and the Official Zoning Map, Town City of Fishers, Indiana, dated November 3, 1980, which accompanies and is part of the Zoning Code of the Town City of Fishers, Indiana, as amended, are hereby amended as follows:~~

~~That the Zoning Classification of the following described Real Estate is hereby zoned as PUD-C and this ordinance shall hereinafter be referred to as the "Cyntheanne and S238 Southeastern Parkway Falls Creek Marketplace PUD Ordinance":~~

SEE "EXHIBIT A" ATTACHED HERETO.

~~SECTION 2.~~ **SECTION 2. PURPOSE AND INTENT**

~~To create a neighborhood commercial district for property located northwest of the intersection of State Road 238 Southeastern Parkway and Cyntheanne Road through the adoption of development standards including architectural design and material standards to aesthetically enhance the commercial areas to be compatible with the surrounding residential neighborhoods.~~

**SECTION 3. LAND USE**

~~A. Grocery Store, All uses described in Section 151.073 (C1, Commercial District) and Section 151.074 (C2, Commercial District) of the Fishers Zoning Code, as amended, shall be permitted.~~

- ~~B.A. \_\_\_\_\_ Neighborhood retail including grocery, drug which may include bakery, produce, pharmacy, ~~to~~ alcohol sales, butcher/meat, floral and similar uses typically found in grocery stores, ~~are~~ is permitted provided that no single occupancy may exceed ~~sixty-five~~ ~~eighty~~ thousand (6580,000) gross square feet for an anchor tenant and provided the anchor tenant has a minimum of two (2) separate and distinct customer entrances across the front of the building. The 90,000 square foot limitation of the C-2 district shall not apply to the overall PUD, provided overall development and individual structures are compliant with the PUD concept plan.~~
- B. The following uses shall be permitted provided that no single occupancy shall exceed 5,000 square feet:
- 1) Child Care Center
  - 2) Medical, dental office or chiropractor, osteopath, physician or medical practitioner
  - 3) Medical Clinic
  - 4) Office, including business services, professional services, financial services, counseling in an office setting, charitable institution (not providing housing, shelter or sales) or government office.
  - 5) Beauty/Hair Salon
  - 6) Optometrist
  - 7) Restaurant
  - 8) One Vehicle fuel sales/gas station and convenience store, which may include the indoor sale of retail products, shall be allowed.
- C. Any adult entertainment uses shall be prohibited.
- D. Package liquor sales shall be prohibited in gas stations/convenience stores or other similar stand-alone package stores/outlets or "pick-up" facilities.
- E. Package liquor sales are permitted accessory to the grocery store use including as part of an online grocery pick-up order, as may be allowed by State license.
- ~~F. One service station shall be allowed in the Cyntheanne Road and SR238 Southeastern Parkway PUD District.~~

#### SECTION 4. CONCEPTUAL DEVELOPMENT PLAN

The updated Concept Plan, attached hereto as "Exhibit B", is adopted as part of this ordinance. Adoption of the Concept Plan, however, does not constitute approval of any detailed and final development plans; such further approval is subject to the procedures set out in Section 7, below.

#### SECTION 5. DEVELOPMENT STANDARDS

Except as modified by this PUD Ordinance, the development shall comply with the development, landscaping and parking standards of the Zoning Code of the Town-City of Fishers.

##### A. Bulk and Density Standards

##### 1) Building Setbacks

Minimum Front Yard

50'



Minimum Rear Yard	20'
Minimum Side Yard	20'

- 2) Lot Frontage
  - a) Minimum lot frontage may be reduced to 75 feet for one individual outlot. All other lots shall meet the minimum standard of the UDO.
- 3) Lot Coverage
  - a) Lot coverage shall not exceed seventy-five percent (75%) and is inclusive of buildings, parking area and other impervious surfaces, which results in ~~an~~ open space requirement of twenty five percent (25%) of the land area.
- 4) Building Height
  - a) Buildings are restricted to thirty-fivesix feet (356') maximum of two (2) stories (pitched roofs are measured as the mid-point), ~~\_\_\_\_\_~~
- a)5) A building on an outlot shall not be larger than 5,000 square feet and shall contain no more than ~~three~~four tenants.

#### B. Landscaping e-Buffering

- 1) The landscape buffers for the north and west property lines of Area A shall incorporate the existing trees and shall also include a combination of six (6) trees and ~~ten (10)~~fifteen (15) shrubs per one hundred (100) lineal feet. Existing trees may count towards the requirement. In order to support preservation of existing trees and incorporate additional plantings, supplemental trees and shrubs may be located within 50 feet of the property line. Mounds may be reduced or eliminated as needed to maintain the health of preserved trees.
- 2) ~~The landscape buffers for the north and east property lines of Area B shall incorporate the existing trees and shall also include a combination of six (6) trees and ten (10) shrubs per one hundred (100) lineal feet. All new plantings shall be native.~~
- 3) Where required, street trees shall be provided at a ratio of one (1) canopy tree per fifty (50 feet). Required street trees along Southeastern Parkway may be located greater than 10' from the ROW line where in conflict with existing overhead electric lines and gas easements. Final locations shall be approved as a part of the detailed and final plan.

#### C. Architectural Standards

- 1) All structures within an individual PUD area shall be constructed with similar design, materials and compatible architecture.
- 2) All buildings shall screen all mechanical equipment including that which is mounted to the roof and/or ground.
- 3) The exterior of all buildings adjacent to residentially zoned areas or occupied shall consist of a brick, masonry, ~~or~~ stone façade, ~~or~~ stucco or precast concrete materials with brick, stone or masonry surface ~~and~~ appearance.
- 4) Facades that have greater than one hundred feet (100') in length, measured horizontally, shall incorporate wall plane ~~projections, or recesses~~projections, recesses, canopy's, or structural screenwallsscreen walls having a depth of at least ~~ten~~eight feet

~~(108')~~ ~~five percent (5%) of the length of the facade~~ and extending at least twenty percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed one hundred ~~and fifty~~ horizontal feet (~~150~~~~100~~').

- 5) Where large retail structures contain additional, separately owned or leased stores that occupy less than twenty-five thousand (25,000) square feet of gross floor area and have separate, exterior customer entrances, the street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the building facade of such additional stores. Window requirements for the gas service station shall be reduced to forty percent (40%) percent of the horizontal length of the building façade and shall apply only to the primary entrance façade of the gas service station.
- 6) Building facades shall include a repeating pattern that includes no less than three (3) of the following elements:
  - a) Color change;
  - b) Texture change;
  - c) Material module change;
  - d) An expression of architectural or structural bays through a change in plane no less than twelve inches (12") in width, such as an offset, reveal or projecting rib.
- 7) Roof architecture
  - a) Roofs shall have some combination of the following features:
    - (1) All roof areas shall restrict rooftop equipment such as HVAC units from public view by extending the supporting wall or parapet. Such roof features shall contain three-dimensional cornice treatment,
    - (2) Overhanging eaves, extending no less than three feet (3') past the supporting walls;
    - ~~(3) Three or more roof slope planes.~~
  - b) ~~Gasoline service station canopies shall have pitched roofs.~~ Gasoline service canopies may have a flat roof and shall not exceed 20 feet in height. Gasoline service canopies shall have masonry support pillars to support the gas station canopy.
  - c) Office uses, separate retail tenants, single story and buildings of less than fifty thousand (50,000) square feet must have pitched roofs to be more residential in character. Notwithstanding, the permitted gasoline service station and its canopy shall be architecturally consistent with the primary grocery use and may have flat roofs.
  - d) ~~No more than fifty percent (50%) of the roof shall be flat unless the roof has an architectural addition.~~ Flat roofs shall have architectural significance, such as different sections of flat roofs so the roof can be given articulation with different heights. The look of the building shall therefore be softened by the feel of the facade.
- 8) Materials and colors.
  - a) Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, limestone, other native stone, ~~and~~ tinted/textured concrete masonry units or precast concrete materials with brick stone or masonry surface appearance.
  - b) Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The



use of high-intensity colors, metallic colors, black or fluorescent colors shall be prohibited.

- c) Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
- d) Exterior building materials shall not include smooth-faced concrete block, ~~tilt-up concrete panels~~ or prefabricated steel panels.

9) Entryways.

- a) Each retail establishment greater than twenty thousand (20,000) square feet shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
  - (1) Canopies or porticos;
  - (2) Overhangs;
  - (3) Recesses/projections;
  - (4) Arcades;
  - (5) Raised corniced parapets over the door;
  - (6) ~~Peaked~~Varied roof forms;
  - (7) Arches;
  - (8) Architectural details such as tile work and moldings which are integrated into the building structure and design;
  - (9) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
- b) All building facades that are visible from ~~adjoining properties and/or public streets~~ shall comply with the requirements of items (1) through (9).

10) Pedestrian circulation

- a) Sidewalks shall be a minimum of five (5) feet in width, however, where applicable, they shall be eight-ten (10) feet in width asphalt in conjunction with the Town-City Parks Plan and to integrate with neighborhoods. Sidewalks shall be provided along all sides of the lot that abut a public street.
- b) Continuous internal pedestrian walkways, no less than eight feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of each retail building on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds and ground cover.
- c) Sidewalks, no less than eight feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. ~~Such sidewalks shall be located at least six feet from the facade of the building to provide planting facade.~~ In-ground or permanent planter boxes shall be provided in place of foundation planting along the outer edge of the sidewalk where they do not interfere with pedestrian access/connectivity to provide planting façade.
- d) Internal pedestrian walkways provided in conformance with part b) above shall provide weather protection features such as awnings or arcades within thirty feet (30') of all customer entrances.

- e) All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.

~~11) Trash removal, compaction, service vehicles, deliveries, parking lot sweepers, etc. shall not be permitted between the hours of 12:00 midnight and 6:00 a.m. with the exception of snow removal. Trash receptacles shall not be located closer to the right-of-way than the primary building, except where the property has frontage along two property lines. Gates shall not face residential use properties; such requirement shall not apply to school-owned and used properties which may be zoned residential. Refuse compactor units located within the loading area shall be screened from adjacent properties or right-of-way along the edge of the loading dock area but shall not require gates to completely enclose the unit.~~

12) Outlot uses shall not have drive-through order facilities but may incorporate pick-up only windows. Such facilities may be located within 400 feet of residentially zoned property.-

#### D. Parking and Access

- 1) Parking shall be provided at a rate of 5 per 1,000 square foot maximum for uses over 50,000 square feet. Fuel centers shall provide parking spaces at a rate of 6 per 1,000 square feet maximum, inclusive of employee parking. Additional landscape bump-outs shall only be required for parking in excess of this standard. Additional uses under 50,000 square feet shall be underlying requirements of the City of Fishers UDO.
- 2) Terminal planting beds may be eliminated adjacent to ADA accessible spaces.
- 3) Driveway widths may exceed 36 feet in width, up to 52 feet in width, for primary commercial entrances as needed to accommodate vehicle turn lanes and radiuses [with approval from Fishers Engineering Department](#).
- 4) Cart corrals shall be constructed of durable materials but may be moveable to facilitate parking lot clearing and maintenance.

#### E. Signage

- 1) ~~All wall signage shall be reverse channel letter neon or externally lit individual letter signs. All other signage requirements shall be in conformance with the Fishers Sign Code. A comprehensive sign package shall be approved for the site in accordance with the Fishers Sign Code. Sign lighting and color modifications may be addressed as a part of this package.~~
- 2) The fuel pricing portion of the gas station sign may utilize digital changeable copy panels which remains static except for price changes, provided such signage does not exceed 25% of the overall sign, as measured per face.

#### F. Lighting

- 1) Lighting shall be limited to 0.5-foot candles at the property line. This requirement is exempt when adjacent to public right-of-way.
- 2) ~~There shall be no greater than a 20 to 1 ratio of lighting with a ten-foot candle~~



~~maximum on site.~~

- 3) Light poles shall be limited to thirty feet (30') in height
- 4) Light fixtures shall may be decorative along the entrance drives and along public rights-of-way approved as part of the overall architecture, but overall site illumination into the atmosphere shall be restricted through the use of ~~shields on the fixture to include a horizontal lamp and no more than a 180 degree angle of light~~ full cut-off fixtures.
- 5) Vehicle canopy lighting shall not exceed 40 foot candles in intensity. All lighting shall be recessed within the canopy structure.
- 6) Pedestrian lighting along the building façade may be satisfied through a combination of building and pole mounted lighting as detailed on the final lighting plan.

#### ~~G. Commitments~~

- ~~1) The Developer shall be subject to the Commitments, attached hereto as "Exhibit C", which shall include the following:
  - a) ~~Prior to the formal annexation of the Real Estate into the Town City of Fishers, the Developer agrees that any home constructed within Briarwood at Fishers shall voluntarily contribute to the Town City of Fishers, at the time that a building permit is issued, the then standard impact fees normally assessed by the Town City of Fishers for the residential building.~~
  - b) ~~The Developer agrees not to remonstrate against annexation of the Real Estate by the Town City of Fishers
    - (1) ~~The Developer agrees to include a Waiver of Remonstrance provision in the covenants and restrictions for the Real Estate, which will be recorded and provided to the purchaser of each lot with the Real Estate;~~
    - (2) ~~The Developer agrees to include a Waiver of Remonstrance provision on the recorded Subdivision Plat.~~
    - (3) ~~The Developer agrees to include Waiver of Remonstrance in the PUD Ordinance.~~~~~~

## SECTION 6. OTHER REQUIREMENTS

The Real Estate shall comply with all ~~Town City~~ Ordinances (e.g., ~~Zoning CodeUDO, Landscaping Ordinance, Parking Ordinance, Subdivision Control Ordinance~~) ~~1~~in effect ~~May 1, 2006~~ as of the date of adoption of this Ordinance, as applicable, except as provided or modified by this PUD Ordinance. The underlying zoning district shall be C2 Commercial.

## SECTION 7. PROCEDURES.

Improvements on the Real Estate that is the subject of this PUD Ordinance may be developed in phases over time. The adoption of this ordinance and the subsequent consideration of any detailed

~~and final development Plan shall be consistent and pursuant to the provisions of the Planned Unit Development process as set forth in Section 151.072 3.4.5 Planned Unit Development District of the Unified Development Ordinance.~~ A Development Plan for each building and phase of development shall be submitted to the City's general PUD Committee (the "Committee") for review and approval prior to the issuance of a building permit. Development plans shall be reviewed and approved based upon compliance with the development and design standards set forth herein. The grocery store shall substantially comply with the rendering attached hereto as "Exhibit C", and the fueling center/convenience store shall substantially comply with the rendering attached hereto as "Exhibit D"; provided, however, that the Committee shall have the discretion and flexibility, upon the request of the petitioner, to consider and approve modifications pertaining to any development and design standard established or referenced by this PUD Ordinance if the Committee determines such modifications are consistent with the intent of this PUD Ordinance.

## **SECTION 8. APPROVAL**

This ordinance shall be in full force and effect from and after its passage by the ~~Town~~ City Council and after the occurrence of all other actions required by law. All provisions or parts thereof in conflict herewith are hereby repealed.

*Note: Needs replacement with new legal descriptions and updated Exhibits.*

EXHIBIT "A"

LAND DESCRIPTION

CYNTHEANNE/SR238 SOUTHEASTERN PARKWAY  
FALLS CREEK PLANNED DEVELOPMENT



# Council Action Form

<b>MEETING DATE</b>	September 9, 2024			
<b>TITLE</b>	Consideration of a text amendment to the Fall Creek Marketplace PUD Ordinance #050106A to allow updates to the concept plan and the land use and development standards, generally located near the intersection of Southeastern Parkway and N. Cyntheanne Road. (TA-24-3)			
<b>SUBMITTED BY</b>	Name & Title: Ross Hilleary, Director of Planning & Zoning Department:			
<b>MEETING TYPE</b>	<input type="checkbox"/> Work Session <input type="checkbox"/> Executive	<input checked="" type="checkbox"/> Regular	<input type="checkbox"/> Special	<input type="checkbox"/> Retreat
<b>AGENDA CLASSIFICATION</b>	<input type="checkbox"/> Consent	<input checked="" type="checkbox"/> Ordinance	<input type="checkbox"/> Resolution	<input type="checkbox"/> Regular
<b>ORDINANCE/RESOLUTION</b> (New ordinances or resolutions are assigned a new number)	<input type="checkbox"/> 1 <sup>st</sup> Reading	<input type="checkbox"/> 2 <sup>nd</sup> Reading	<input type="checkbox"/> Public Hearing	<input type="checkbox"/> 3 <sup>rd</sup> Reading <input checked="" type="checkbox"/> Final Reading
	Ordinance #: 052024B		Resolution #:	
<b>CONTRACTS</b> (Contracts include other similar documents such as agreements and memorandum of understandings. <u>Check all applicable boxes pertaining to contracts</u> )	<input type="checkbox"/> Contract <b>required</b> for this item		<input type="checkbox"/> Signed copy of contract attached	
	<input type="checkbox"/> Seeking award or other scenario & <b>will provide contract</b> at a later date		<input checked="" type="checkbox"/> <b>No contract</b> for this item	
	<input type="checkbox"/> Contract <b>over</b> \$50,000  Please mark the box in the other column that pertains to this contract.		<input type="checkbox"/> Services <input type="checkbox"/> Capital Outlay <input type="checkbox"/> Debt Services	
<b>HAMILTON COUNTY</b> (Some documents need recorded by the City Clerk)	<input checked="" type="checkbox"/> Document <b>must</b> be recorded with the County Recorder's Office  <input type="checkbox"/> Wait 31 days <b>prior to</b> filing with the County Recorders' Office		<input type="checkbox"/> Document <b>does not need</b> recorded with the County Recorder's Office	

<b>APPROVALS/REVIEWS</b>	<input type="checkbox"/> Assistant/Deputy Department Head	<input type="checkbox"/> Controller's Office
	<input checked="" type="checkbox"/> Department Head	<input type="checkbox"/> Finance Committee
	<input type="checkbox"/> Deputy Mayor	<input type="checkbox"/> Technical Advisory Committee
	<input type="checkbox"/> Mayor	<input type="checkbox"/> Other:
	<input type="checkbox"/> Legal Counsel – <i>Name of Reviewer:</i>	
<b>BACKGROUND</b> (Includes description, background, and justification)	<p>This text amendment amends the Fall Creek Marketplace PUD (Ordinance 050106A)</p> <p>Abby Jacobs of Woolpert, Inc. requests a text amendment to allow updates to the concept plan and the land use and development standards for a proposed Meijer Grocery store, mExpress service station, and two commercial outlots.</p> <p>See Ordinance for additional details.</p>	
<b>BUDGETING AND FINANCIAL IMPACT</b> (Includes project costs and funding sources)	Budgeted \$:	N/A
	Expenditure \$:	N/A
	Source of Funds:	N/A
	Additional Appropriation #:	N/A
	<b>Narrative:</b>	N/A
<b>OPTIONS</b> (Include <i>Deny Approval Option</i> )	1.	Hold Final Reading
	2.	Continue
	3.	Deny
	4.	Take no action
<b>PROJECT TIMELINE</b>	<p>May 20, 2024 - 1st Reading &amp; Public Hearing - City Council  June 12, 2024 - Neighborhood Meeting (Brooks School Elementary)  June 13, 2024 - Neighborhood Meeting (Britton Falls Villa)  August 7, 2024 - Elevation Approval - PUD Committee  August 7, 2024 - Public Hearing - Plan Commission  September 9, 2024 - Proposed Final Reading - City Council</p>	
<b>STAFF RECOMMENDATION</b> (Board reserves the right to accept or deny recommendations)	Staff recommends that Council hold Final Reading and approved as presented.	
<b>SUPPLEMENTAL INFORMATION</b> (List all attached documents)	<ol style="list-style-type: none"> <li>1. Staff Report</li> <li>2. Petitioner's Packet</li> <li>3. Ordinance</li> <li>4. Traffic letter</li> </ol>	